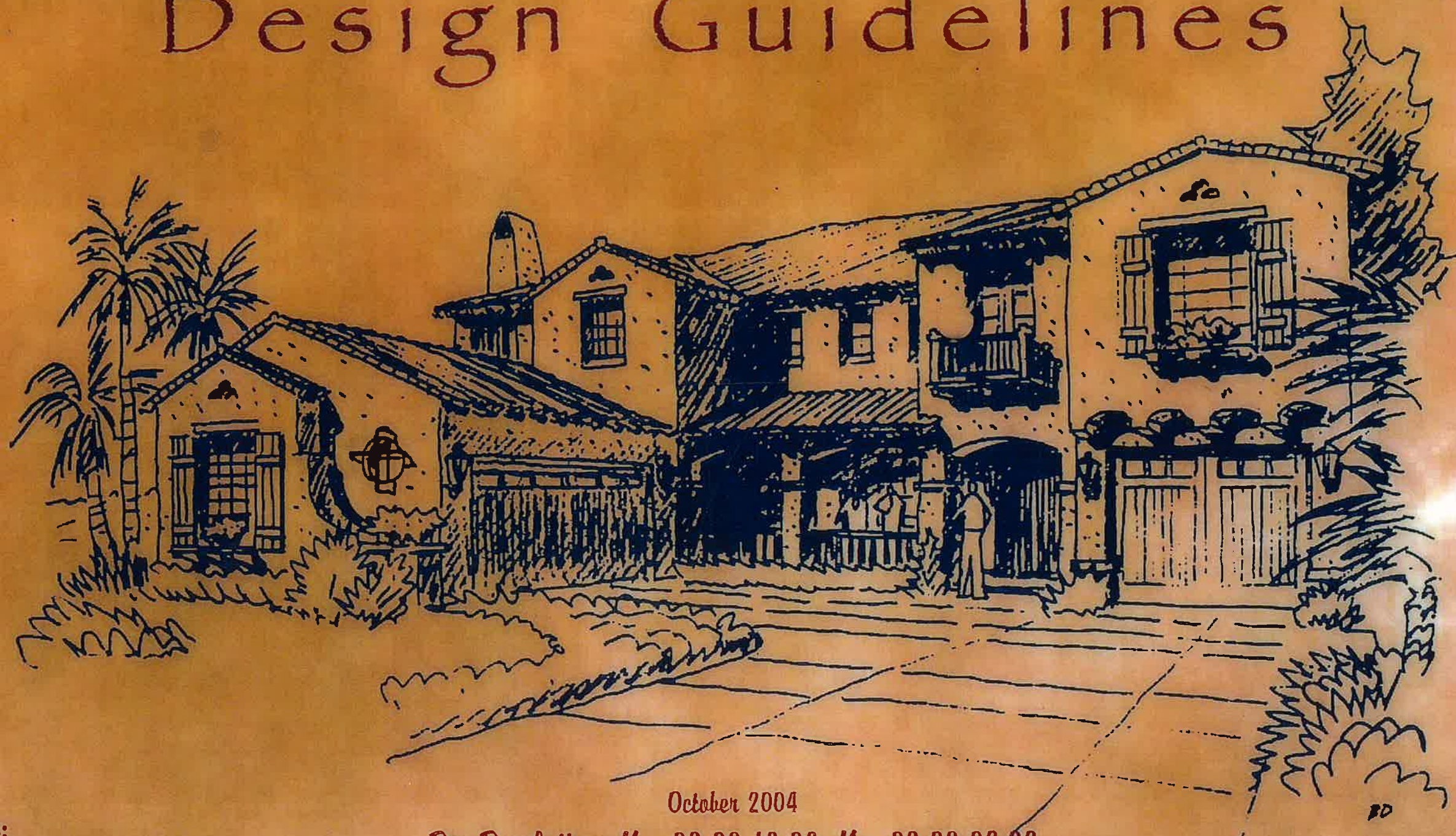


# Pacifica San Juan

*"a window by the sea"*

## Design Guidelines



Prepared for:



City of San Juan Capistrano

October 2004

Per Resolutions No. 03-09-16-06, No. 03-09-02-02

Ordinance No. 884

UPDATED JULY 2006

Prepared by:  
SJD Partners

Pacifica San Juan

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Updated per Ord. No 884

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PLANNING DEPT.

The Forster Canyon Planned Community Comprehensive Development Plan (CDP 81-01) has been adopted by the City of San Juan Capistrano to establish the pattern and intensity of development for the Pacifica San Juan and Mesa portions of the Forster Canyon Planned Community Comprehensive Development Plan area. The adopted Comprehensive Development Plan provides for a mix of residential, recreational and open space uses in this planned community setting, and also establishes development standards for the property.

The Pacifica San Juan Design Guidelines have been prepared to assist in the implementation of the Comprehensive Development Plan by providing a greater level of definition for the Plan's design objectives and the intended community design character. These Design Guidelines have been adopted separately from, but are intended to be used in conjunction with, the Forster Canyon Planned Community Comprehensive Development Plan, and apply only to the Pacifica San Juan portion, not the Mesa or San Juan Meadows of Forster Canyon.

The Pacifica San Juan Design Guidelines provide planning information and design direction in two areas. Section 1 provides an overview of the Master Plan design concept, community design objectives and community structure framework. Sections 2 through 4 outlines community design guidelines addressing residential product design, landscape structure and design, and community elements such as walls, fencing, lighting, and parks.

One of the principal objectives of the Development Plan is to create livable neighborhoods rather than subdivisions, and so these Guidelines are focused on the residential component of the Plan. The complete design guidelines package for an individual development project consists of the applicable Design Guidelines sections from this document plus any referenced guidelines contained in the Forster Canyon Planned Community Comprehensive Development Plan.



# Overview of Comprehensive Plan Design Concept

## A. COMMUNITY DESIGN OBJECTIVES

The Forster Canyon Planned Community Comprehensive Development Plan (CDP 81-01) established the basic use pattern and overall design concept for development of this property. Several distinct neighborhoods were created within the Pacifica San Juan project area, including the Valley, the Estates, Harbor Vistas, the Vistas, Country Residential and Garden Residential. Each neighborhood is defined by differing development standards, as expressed in the Land Use District Regulations within the Comprehensive Development Plan. Exhibit 1, following, illustrates the community plan, and identifies the location of individual neighborhoods, the roadway network, open spaces and parks.

The following community design objectives build on the foundation established in the Comprehensive Development Plan and provide the planning framework for the Pacifica San Juan Design Guidelines.

1. Reinforce the City's "village like" atmosphere, as reflected in the City's existing historic architectural styles, semi-rural landscaped setting and small-town charm.
2. Promote an open character for Pacifica San Juan through preservation of open space and effective use of landscaping.
3. Create a plan that establishes a strong sense of community rather than a standard subdivision by:
  - Establishing shared community spaces.
  - Developing a trail system that connects neighborhoods to each other and to the City's existing trail system.
  - Providing features to identify the community that reinforces local tradition, such as entry features and landscaped elements.
  - Providing high quality architectural design and house construction to foster a sense of "pride of ownership" among residents.

4. Provide project continuity and compatibility with surrounding uses through site planning, building design, street design, landscaping and other design elements that will endure for the life of the community.
5. Establish an architectural theme and character consistent with the City's existing neighborhoods while allowing some flexibility in the mix of home styles.
6. Provide for a range of housing products, both single family detached and attached, that are responsive to local needs and market demands.

## B. COMMUNITY STRUCTURE

In order to achieve the project's design objectives, the plan is built around a framework of community design elements and public use components, which together create a "community structure." These community structure components include the following:

1. A circulation system that provides adequate vehicular and pedestrian circulation through Pacifica San Juan and connects the community to the existing roadway and trail network.
2. A park and open space design that provides recreational amenities for use by local residents and those who live outside the community.
3. Neighborhood architectural design that reflects the historic character of San Juan Capistrano and the southern California region.
4. A landscape framework that establishes neighborhood character and identifies Pacifica San Juan as a unique community.

The circulation system is fully discussed in the Comprehensive Development Plan, and so is not addressed here. The remaining structural elements are discussed in detail in the following sections of this document. These discussions are intended to provide a sufficient level of guidance for development of the community structural elements, such as the park and trail system, and for development of individual properties within the spirit of the overall community design objectives.



**LEGEND**

	Vista	114 Units
	Country	* Units
	Valley	104 Units
	North Estates	23 Units
	Garden	* Units
	Harbor Vista	46 Units
	North R/D	
	School Site	
		<b>416 Units*</b>

\*Unit Count Within The Country & Garden May Fluctuate - Total Not To Exceed 416 Units.

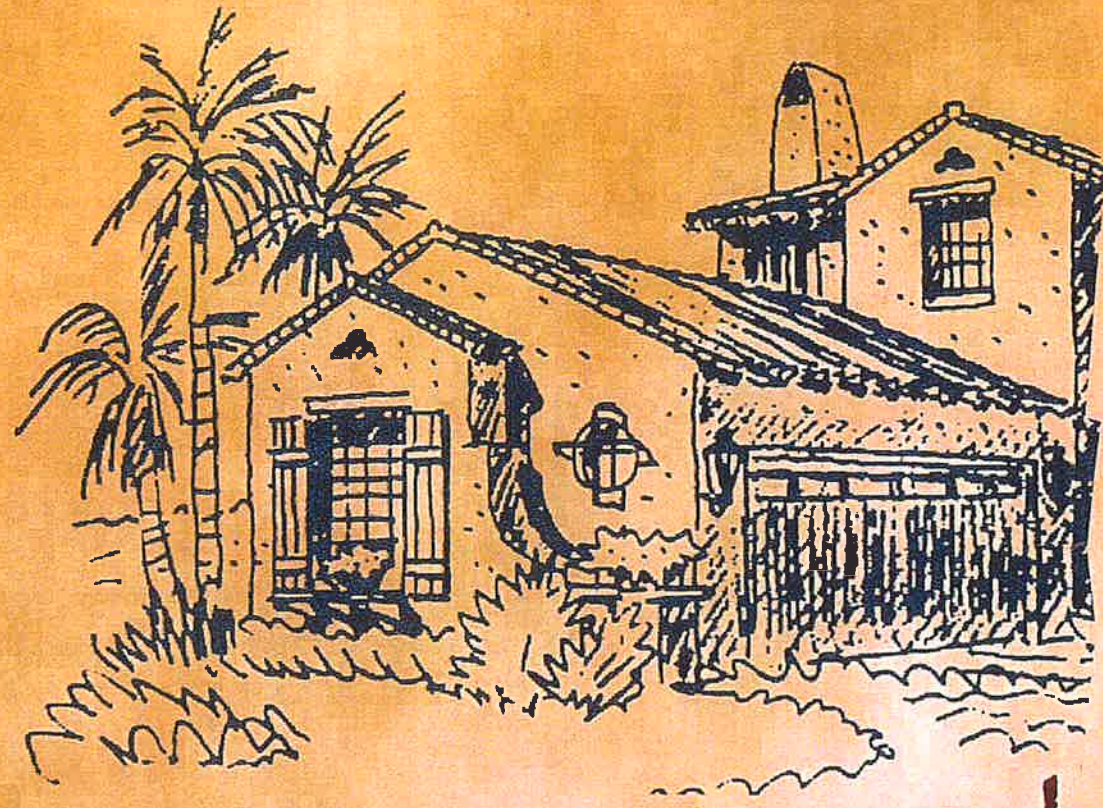
Prepared by:

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# PACIFICA SAN JUAN



# Community Design Elements

### A. COMMUNITY VISUAL APPEARANCE

#### 1. Grading

The predominant landform in Pacifica San Juan is Window Hill, sometimes referred to as McCracken Hill, which is partially regarded and preserved as part of the community. Pacifica San Juan is located in a valley surrounded by hillsides to the north, east and south, and by the Pacific Ocean to the west, as well as the surrounding residential and commercial uses and open space.

The area impacted by grading will be those portions of the site devoted to roads, building construction, recreation, and the rebuilding and contouring of Window Hill. The grading concept developed on the advice of the City and geotechnical project engineers, removes approximately 4,250,000 cubic yards of earth from the top of Window Hill and places it in the valley.

Because the majority of the homes in Pacifica San Juan are located in a valley wrapped around Window Hill, they are not visible from most areas of San Juan Capistrano. The following represents the conceptual appearance of Pacifica San Juan.

- Some developed areas of Window Hill will be visible from the central parts of the City. Homes will be seen as part of distant views from the harbor area, Las Ramblas and Capistrano Beach.
- Almost the entire northwest facing slope at Window Hill will be contour graded to reestablish stability, while providing an aesthetic visual benefit to the community. It should be noted that much of the site has been mass graded, pursuant to prior approvals.
- The Valley will predominately retain its present character, with the development's overall scale fitting the existing topography.
- The natural slopes facing the freeway on the west side of Window Hill will be preserved in a natural condition.
- The area below the La Mirada landslide will be graded to create an area to serve as a setback for future residential uses,

and also as a catchment area to contain any potential future surficial slippage of the land mass above.

A series of cross sections, located at the end of this section, have been prepared to illustrate the grading relationships of the residential neighborhoods to each other. These cross sections illustrate that Pacifica San Juan is terraced into the existing hillsides to blend in more naturally with the existing terrain. Also, Window Hill is preserved to provide a visual buffer between many of the homes and the remainder of the City.

The cross sections also illustrate the relationship of Pacifica San Juan to the existing homes on Window Hill. Both the Estate and Valley Residential Neighborhoods are proximate to Window Hill. In both cases, the new homes are lower in elevation than the existing adjacent homes, thus minimizing any effect to those residences. Building height limits in compliance with the City's Zoning Code are also incorporated in Pacifica San Juan to minimize impacts.

#### 2. Color of Homes

In addition to grading concepts, landscaping and color will be utilized to soften the appearance of the homes visible from outside the property. Home colors will be selected to be consistent with the surrounding natural landscape and with the color value of the specific hue close to the immediate landscape. Colors on the homes visible from outside Pacifica San Juan will be predominately earthtones, such as browns, ochres, sepias, and grays.

#### 3. Landscaping

Landscaping on slopes within the community has been carefully selected to soften the appearance of the homes, while not impinging on the view opportunities from the residences. Landscaped slopes are incorporated throughout the community, frequently within neighborhoods between rows of homes. This allows for homes to be terraced up the hillsides, reducing the amount of grading required and reducing the visual effect of the homes from off-site. The overall landscape concept is discussed in Section IV.

### B. DESIGN ELEMENTS

#### 1. Neighborhood Entries

The design theme for community elements in Pacifica San Juan, inspired by the City's "Mediterranean Period" architectural style, is most noticeable in the community and neighborhood entry features and the landscape selections. These community and neighborhood design elements are illustrated as discussed in greater detail in Section IV, Landscape Design Guidelines.

Entry gates are provided at the entry into each single family detached neighborhood within the community. These gated entries are each unique, but all share the same relative scale and mass to provide a constant element in their design. All incorporate the materials found most frequently on historic San Juan Capistrano buildings; stucco, large-scaled wood framing and/or trim, adobe brick or stone, and wrought iron detailing. This somewhat uniform choice of materials for the gates will also provide a sense of design continuity to the streetscape along "A" Street.

#### 2. Architectural Design

Architectural styles incorporated in Pacifica San Juan are discussed in Section III of these Guidelines. Since this development is largely not visible from other areas of the City, a variety of styles are proposed, not only the Mediterranean styles considered acceptable within the downtown area. This variety will foster creativity and add interest to the residential neighborhoods.

One and two story homes shall be provided adjacent to "A" Street, scenic and circulation corridors (Interstate 5), and areas visible from or adjacent to public use areas such as parks and recreational trails. At least twenty percent of the homes within Pacifica San Juan shall be one story (56 homes).

Homes backing on to "A" Street, scenic and circulation corridors (Interstate 5), and areas adjacent to public use areas such as parks and recreational trails must include a variety of roof forms and treatments suitable to the architectural style of the home. Varied plate heights and ridge heights should be utilized to create offsets

in the ridgeline to better articulate roof forms and building massing. Roof planes on the rear elevations should be well articulated to provide relief in the building massing.

### C. DEVELOPMENT STANDARDS FOR RESIDENTIAL NEIGHBORHOOD AREAS

Pacifica San Juan is made up of several neighborhoods providing a mix of housing types. The proposed community provides for various housing types and lots sizes, along with development standards as adopted in the Forster Canyon Planned Community Comprehensive Development Plan. Community development standards are identified below.

The uses permitted in the Residential Neighborhoods shall be the same as those uses permitted in the Forster Canyon Planned Community Comprehensive Development Plan (CDP 81-01), Sections V 3 and 5.

#### 1. Estate Residential District

The Development Standards for the Estate Residential Neighborhood shall be the same as those uses permitted in the Forster Canyon Planned Community Comprehensive Development Plan (CDP 81-01), Section V 4. Specifically, the Development Standards are:

**Minimum Lot Site:** Lot area shall not be less than 12,000 square feet.

**Maximum Floor-Area-Ratio:** Floor-Area-Ratio shall meet the City's Municipal Code. (1 story = .40; 2 story = .35 and second story may only cover 80% of first story.)

**Minimum Front Yard Setback:** The minimum Front Yard Setback shall not be less than 20 feet for a one-story building and 35 feet for a two-story structure.

**Minimum Side Yard Setback:** The minimum Side Yard Setback shall not be less than 15 feet.

**Minimum Rear Yard Setback:** The minimum Rear Yard Setback shall not be less than 30 feet.

**Maximum Heights:** The maximum Building Height shall not exceed 35 feet.

**Minimum Lot Frontage\*:** The minimum lot frontage shall not be less than 70 feet.

#### 2. Valley Residential District

The Development Standards for the Valley Residential Neighborhood shall be the same as those uses permitted in the Forster Canyon Planned Community Comprehensive Development Plan (CDP 81-01), Section V 4. Specifically, the Development Standards are:

**Minimum Lot Site:** Lot area shall not be less than 7,000 square feet.

**Maximum Floor-Area-Ration:** Floor-Area-Ratio shall be based on RS 7,000 development standards in the City's Municipal Code. (1 story = .45; 2 story = .32, and second story may only cover 80% of first story).

**Minimum Front Yard Setback:** The minimum Front Yard Setback shall not be less than 20 feet. The minimum Front Yard Setback for a side entry garage shall not be less than 15 feet.

**Minimum Side Yard Setback:** The minimum Side Yard Setback shall not be less than 15 feet aggregate, with no side yard less than 5 feet.

**Minimum Rear Yard Setback:** The minimum Rear Yard Setback shall not be less than 20 feet.

**Maximum Height:** The maximum Building Height shall not exceed 35 feet.

**Minimum Lot Frontage\*:** The minimum lot frontage shall not be less than 55 feet.

#### 3. Vista Residential District

The Development Standards for the Vista Residential Neighborhood shall be the same as those uses permitted in the Forster Canyon Planned Community Comprehensive Development Plan

\* Minimum lot frontage is measured at the street. Minimum lot frontage for cul-de-sacs and knuckles is 25 feet.

(CDP 81-01), Section V 4. Specifically, the Development Standards are:

**Minimum Lot Site:** Lot area shall not be less than 6,000 square feet (60 feet minimum width, 100 feet minimum depth).

**Maximum Floor-Area-Ratio:** Floor-Area-Ratio shall be based on RS 7,000 development standards in the City's Municipal Code. (1 story = .45; 2 story = .32, and second story may only cover 80% of first story).

**Minimum Front Yard Setback:** The minimum Front Yard Setback shall not be less than 20 feet. The minimum Front Yard Setback for a side entry garage shall not be less than 15 feet.

**Minimum Side Yard Setback:** The minimum Side Yard Setback shall not be less than 15 feet aggregate, with no side yard less than 5 feet.

**Minimum Rear Yard Setback:** The minimum Rear Yard Setback shall not be less than 20 feet.

**Maximum Height:** The maximum Building Height shall not exceed 35 feet.

**Minimum Lot Frontage\*:** The minimum lot frontage shall not be less than 50 feet.

#### 4. Harbor Vista Residential District

The Development Standards for the Harbor Vista Residential Neighborhood shall be the same as those uses permitted in the Forster Canyon Planned Community Comprehensive Development Plan (CDP 81-01), Section V 4. Specifically, the Development Standards are:

**Minimum Lot Site:** Lot area shall not be less than 6,500 square feet (60 feet minimum width, 100 feet minimum depth).

**Maximum Floor-Area-Ratio:** Floor-Area-Ratio shall be based on RS 7,000 development standards in the City's Municipal Code. (1 story = .45; 2 story = .32, and second story may only cover 80% of first story).

**Minimum Front Yard Setback:** The minimum Front Yard Setback shall not be less than 20 feet.

**Minimum Side Yard Setback:** For one-story homes, the minimum side yard setback shall not be less than 5 feet. For two-story homes, the minimum side yard setback shall not be less than 15 feet total, with one side yard no less than 5 feet, and the other side yard no less than 10 feet.

**Minimum Rear Yard Setback:** The minimum Rear Yard Setback shall not be less than 20 feet.

**Maximum Heights:** The maximum Building Height shall not exceed 35 feet.

**Minimum Lot Frontage\*:** The minimum lot frontage shall not be less than 50 feet.

### 5. Garden and Country Residential District

The Development Standards for the Garden and Country Residential Neighborhood of the Pacifica San Juan Specific Plan shall be the same as those uses permitted in the Forster Canyon Planned Community Comprehensive Development Plan (CDP 81-01), Section V 5. Specifically, the Development Standards are:

**Minimum Lot Site:** Lot area shall not be less than 15,000 square feet.

**Maximum Building Coverage:** Site coverage of all structures, including accessory structures, shall not exceed 60 percent.

**Street Frontage:** The minimum frontage of a lot shall be 45 feet. Cul-de-sac lots shall have a minimum 25-foot frontage at the street right-of-way.

#### Setbacks:

- Front Yard: The front setback shall not be less than 20 feet measured from the right-of-way for living areas, 18 feet for garages and 18 feet for guest or congregate parking areas.
- Side Yard: Side setbacks on interior and through lots shall not be less than 5 feet from the nearest property line.
- Rear Yard: The rear setback.
- Maintain a 20-foot (minimum) setback between any structure and "A" Street.

\* Minimum lot frontage is measured at the street. Minimum lot frontage for cul-de-sacs and knuckles is 25 feet.

- Maintain a 10-foot (minimum) setback between any structures and private streets.
- Maintain 10-foot (minimum) distance between clusters of attached units.

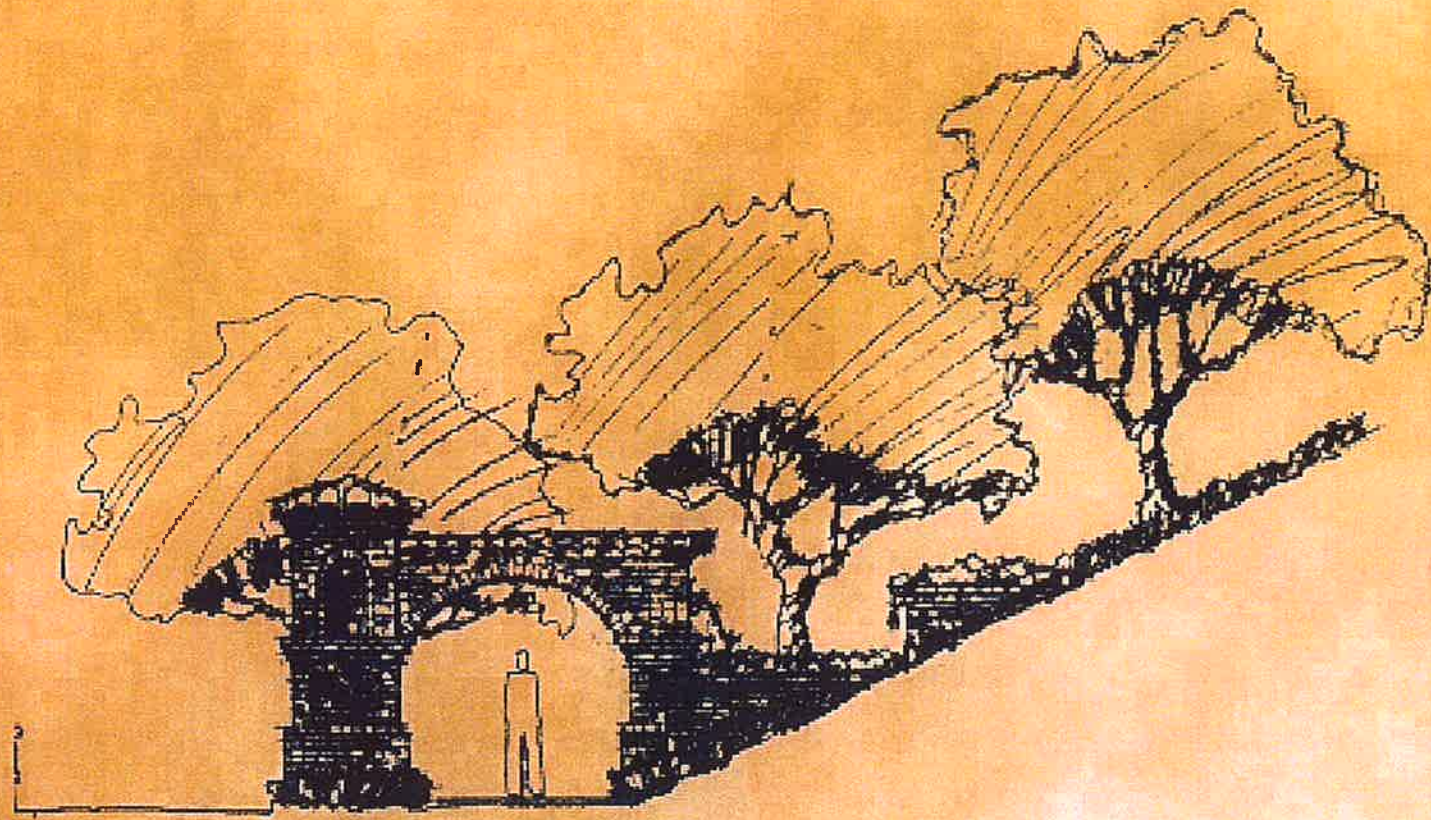
**Parking:** Off-street parking shall be provided for each multi-family dwelling unit in accordance with San Juan Capistrano Municipal Code. The parking facilities shall be provided in a manner that encourages compatibility between parking areas and residential pedestrian access.

**Maximum Heights:** The maximum height of any structure shall not exceed 35 feet.

#### Special Development Standards

- The Garden Residential and Country Residential Neighborhoods provide for clustered, attached or detached housing. The housing clusters shall be sensitively sited to maximize views and respond to site opportunities and constraints. A maximum of 121 dwelling units may be developed in the combined areas.
- Developments within these Neighborhoods may provide outdoor recreation facilities for the residents of the development. Such facilities may include swimming pools and cabanas, tennis or volleyball courts, open play fields, children's play equipment, and similar facilities.
- The combination of structure placement and landscaping shall be arranged to make the development blend with the surrounding environment.
- The structures shall be designed and oriented to give the project perimeter a low profile, or horizontal appearance.
- Greenbelts and/or landscaped walkways shall be distributed throughout the project to create a pleasant open space environment and provide safe pedestrian linkages.
- Open carports should be screened with appropriate materials so as to minimize glare and visibility of cars.

- Carports should have developed roofs. Avoid flat roofs visible to residential units. The pitch of roofs and materials should be similar to the residential structures.
- Utilize landscape materials to enhance and soften the open guest stalls required by parking standards. Avoid long rows of uninterrupted open parking. Allow landscape figures to break-up parking.
- Specifically discouraged are long uninterrupted stretches of garage doors, particularly when facing a double-loaded aisle.



# Community Design Guidelines

#### A. ARCHITECTURAL DESIGN THEME

The Pacifica San Juan project is founded on the best elements of the quality neighborhoods of San Juan Capistrano. Many homes have front porches or patios enclosed by a low wall to create living space and interesting architectural detailing at the front of the home. Many garages are recessed or pushed to the back of lots to avoid a street scene dominated by garage doors. Neighborhoods have a diversity of housing types and styles reflecting the historic development patterns of San Juan Capistrano. Because the City's development occurred over many years, no one period's architectural style dominates the community, nor is there a uniformity of style such as that found in many new planned communities.

Pacifica San Juan incorporates a variety of architectural design themes that, for the purposes of these design guidelines, is referred to as "American Eclectic." Utilizing architectural styles that have been incorporated throughout the United States and locally in southern Orange County will contribute toward making Pacifica San Juan architecturally diverse and visually interesting. This will result in a new community with a more "established" presence, and will give the community design character, ambiance and an aesthetic with depth and richness. Monterey, American Farmhouse, Cape Cod/Shingle, Craftsman and Spanish Colonial architectural styles will be incorporated in Pacifica San Juan. These styles are defined and depicted later in this section.

#### B. INTENT OF DESIGN GUIDELINES

The design guidelines contained in this section are intended to establish a consistent design expression among site planning, architectural and landscape architectural components while allowing reasonable flexibility in design. Each residential project shall include at least three of the architectural styles defined in these guidelines. The illustrations contained in the Design Guidelines are conceptual and do not depict final designs, nor should they

limit the range of expression among individual builders and their professional design teams.

These guidelines are provided for the benefit of builders, their design teams, and City of San Juan Capistrano staff and decision makers in the preparation and review of future construction level development proposals. These guidelines are intended to make this process as smooth as possible by providing clear direction to decision makers on the intent of the Plan, thus reducing the possibility of confusing interpretation and subjective decisions regarding the Plan's implementation.

#### C. GUIDELINES VERSUS STANDARDS

Development standards and design guidelines for Pacifica San Juan are intended to create a framework that permits design flexibility for implementing the community Plan. The development standards and design guidelines established both in the Comprehensive Development Plan and in this document apply to all of the development within Pacifica San Juan as identified by land use or development type.

There is a clear distinction between "standards" and "guidelines." Standards are mandatory requirements that are enforced by terms such as "shall" or "will." Guidelines are suggested or encouraged but are not explicitly mandatory. However, they convey the objectives of the Plan and the intent is that they be followed in spirit if not literally. Thus, guidelines leave some flexibility for design creativity to meet the intent of the Plan and are identified by terms such as "should" or "may".

#### D. SITE PLANNING

The following site planning standards address house siting criteria and garages configurations.

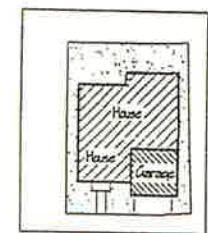
#### 1. Siting Criteria

- Buildings shall be sited to face neighborhood streets or open spaces and parks.
- Varying front/street elevations shall be used in siting homes along residential streets.
- Homes with side or rear elevations facing streets or other public spaces shall have architectural detailing similar to the level of detail applied to the front of the home.
- Varying setbacks, building heights and roof planes should be considered to provide a varied and more interesting visual character along neighborhood streets.
- Attached units shall face a street or be grouped around a central green that as a whole faces a street. Attached units in the center of a development may face onto a central courtyard.
- Attached units that face a street must have building entries oriented to the street.

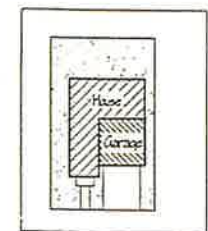
#### 2. Garage Configurations

There are four allowable garage types for homes defined and graphically illustrated below.

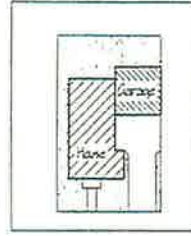
**Conventional Garages** face and are accessed from a public street. This type of garage is located on the front portion of the lot and is attached to the residence. The garage is located closer to the street than the principal portion of the residence.



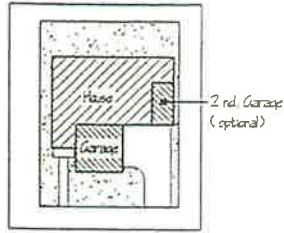
**Recessed Garages** face and are accessed from a public street in front of the home. This type of garage is located on the front portion of the lot and is attached to the residence. The garage element is set back further from the street than the principal front elevation of the house.



**Side Drive Garages** have a long driveway, which allows the garage to be placed toward the rear portion of the lot and further back from the street. These garages may be attached or detached from the residence.



**Swing-in Garages** are located on the front portion of the lot and are attached to the residence, but the garage entry doors do not face the street. These garages may only be two cars in width.



The building type and lot size of the home will dictate garage location, configuration and access. The amount of parking per home will be provided in accordance with the City's Municipal Code. Garage development standards are identified in the table below.

Three-car garages are allowed only on Estate and Valley lots and only in the following configuration.

- A three car wide (or greater) side-drive garage located at the rear of the house.
- A combination of a two-car swing-in garage and a recessed or conventional garage. Estate lots may have a two-car recessed or conventional garage, resulting in a possible four-car garage configuration.
- A three-car recessed or conventional garage on Estate lots only.
- Tandem spaces included as part of conventional, recessed or side-drive garages.

To encourage architectural interest and to reduce the emphasis of the garage along the street scene a mix of garage configurations should be incorporated into home design throughout Pacifica San

Juan. Harbor Vista lots shall contain a mix of conventional, recessed and side drive garages. Swing-in garages are not allowed on Harbor Vista lots. Estate, Valley and Vista lots shall contain a mixture of at least three of the four types of garages allowed in the community.

#### Garage Development Requirements

	Garage Type			
	Recessed	Conventional	Side-drive	Swing-in
Estate Lot	Allowed	Allowed	Allowed	Allowed
Valley Lot	Allowed	Allowed	Allowed	Allowed
Vista Lot	Allowed	Allowed	Allowed	Allowed
Harbor Vista	Allowed	Allowed	Allowed	Prohibited
Attached Units	Prohibited	Prohibited	Allowed	Prohibited
Front Setback (1)	20 (2)	20	40	15
Side Setback	5	15	0	10
Rear Setback	Same as house	Same as house	0	Same as house
On corner lots	On interior side	On interior side	On interior side	Prohibited
Driveway width	12' @ front property line	12' @ front property line	10	12' @ front property line

1. All setbacks are shown measured from property line.
2. Recessed garages shall be set back a minimum of 20 feet from front property line or a minimum of 5 feet back from primary residence façade, whichever is a greater distance from the front property line.

#### E. SINGLE FAMILY DETACHED ARCHITECTURAL DESIGN GUIDELINES

The intent of these architectural guidelines is to encourage design that can create a distinct neighborhood identity while expressing a thoughtful integration of building structures in a planned community. To that end, a variety of architectural styles have been selected to provide a historical character to the community, rather than contemporary designs which are soon dated or the overly uniform architecture of some newer planned communities.

The sub-sections outlined below describe the single family detached architectural guidelines for one of these historic styles:

- Spanish Colonial
- Craftsman
- Cape Cod/Shingle
- American Farmhouse
- Monterey

#### 1. Design Features Common To All Detached Residential Styles

The following design guidelines apply to all applicable residential development (as indicated), regardless of architectural style.

##### Diversity of Architecture

- Each residential development is encouraged to incorporate at least three of the five architectural styles described below.
- For each of the architectural styles utilized in residential developments, at least four of the "essential design elements" of the styles chosen must be incorporated into the exterior design. Essential design elements for each style are outlined below.
- Each detached residential development is required to provide at least three floor plans for each housing product type being built, and each floor plan is required to have a minimum of three different architectural elevations.

##### Front Porch Elements

- Front porches or patios enclosed by low height walls are encouraged on all detached residential units. Porches and patios shall have a minimum depth of 6 feet and comprise a minimum of 30% of the width of a building's primary façade (excluding garage), or 10 feet, whichever is greater.

- Front porches shall be covered with a roof that is supported by posts or other structural members (as opposed to cantilevered), and shall have railings or other decorative elements between posts.
- Wrap-around porches and/or patios defined by a low wall are encouraged on corner lots to provide visual interest on both street elevations.

#### Street Facing Facades

- All residential garage doors visible from a street or public space shall consist of articulated panels. Dwelling units shall also incorporate living space or balcony space over the garage or creation of strong shadow lines around the garage door by recessing the door or extending a trellis at least 2 feet in front of the garage face.
- Each structure should have a different predominant façade material or color than the immediately adjacent structure to promote individuality within the neighborhood context.
- All residential buildings that face an adjacent street should have articulated elevations. Articulation should be achieved with porches, balconies, or bay windows, or other features appropriate to the architectural style of the building.
- Street facing elevations on attached products shall have additive or subtractive architectural elements to help break up the mass of the building façade. Examples of additive elements include dormer windows, porches, bay windows, exterior stairs and similar features. Examples of subtractive elements include carved openings, niches, recessed windows and doors and similar architectural design features.
- At least 25% of a residential building's façade that faces a street should be windows and doors (garage doors do not count towards this guideline).

- Where building elevations other than the front (street) elevation are visible from a side street or other public area, these visible elevations should have the same level of detail and articulation as the front elevation.

#### Roof Mounted Equipment

- Solar panels, if used, shall be integrated into the roof design as an unobtrusive element. Panels are to be parallel to the roof plane and should be clear, bronze, or smoke colored plastic or glass.
- To the greatest extent possible, solar panels, satellite dishes, and other similar roof-mounted mechanical equipment should be located away from front elevation street views.
- Skylights may be incorporated into the roof design to provide natural light and passive solar energy. Frame color should blend with the surrounding roof color.
- Natural aluminum frames are not allowed.

#### 2. Spanish Colonial Style

The Spanish Colonial architectural style is typically characterized with simple courtyards and distinctive use of key details such as roof tiles, stucco walls, detailed wooden doors and ornamental ironwork. Walls convey a thick appearance with recessed door and window openings set back into smooth finished plane walls.



The use of arches, courtyards, patios and colonnades enhance the theme. Balconies with wood details or canvas awnings may enhance the elevations along with classic shutters and pot shelves. A variety of gabled end details are encouraged along with the use of scalloped finishes to add a different feel to the elevation.

Essential elements of Spanish Colonial design examples of acceptable contemporary application of these elements are described as follows:

- a. Stucco walls with a hand made/formed appearance.
  - Smooth or sanded stucco finish, not the heavy "lace" finish.
  - Incorporation of arch forms at window and doorway openings.

- b. Shallow sloped, terra cotta barrel tile roofs in variegated colors
  - Use of pitches not greater than 4 in 12.
  - Use of half-round clay or cement roof tiles.
  - Use of "S" cement roof tiles.
  - Use of varying or variegated tile colors in shades of terra cotta and muted reds.
- c. Thick walls with deep recessed openings, often using an arched form
  - Use of door and window surrounds and/or shutters to deepen openings and create shadow patterns.
  - Covered entries with setback doors.
  - Use of arched windows and entry doors.
- d. Covered patios/porches/loggias
  - Covered entry porches.
  - Covered porch or patio with arched supports.



- Window shutters
- Pot shelves
- Window sills



- f. Balconies
  - False (abbreviated) balconies under windows.
  - Functional balconies off of living spaces.
- g. Decorative ironwork
  - Porch railings
  - Grill work over small decorative windows
  - Balcony railings

- e. Detailing primarily at openings

## Spanish Colonial

The Spanish Colonial architectural style is typically characterized with simple courtyards and distinctive use of key details such as roof tiles, stucco walls, detailed wooden doors and ornamental ironwork. Walls convey a thick appearance with recessed door and window openings set back into smooth finished plane walls. The use of arches, courtyards, patios and colonnades enhance the theme. Balconies with wood details or canvas awnings may enhance the elevations along with classic shutters and potshelves. A variety of gabled end details are encouraged along with the use of scalloped finishes to add a different feel to the elevation.

### Essential elements of Spanish Colonial design:

1. Stucco walls with a hand made/formed appearance
2. Shallow sloped, terra cotta barrel tile roofs in variegated colors
3. Thick walls with deep recessed openings, often featuring arches
4. Covered patios/porches/loggias
5. Detailing primarily at openings
6. Balconies
7. Decorative iron work

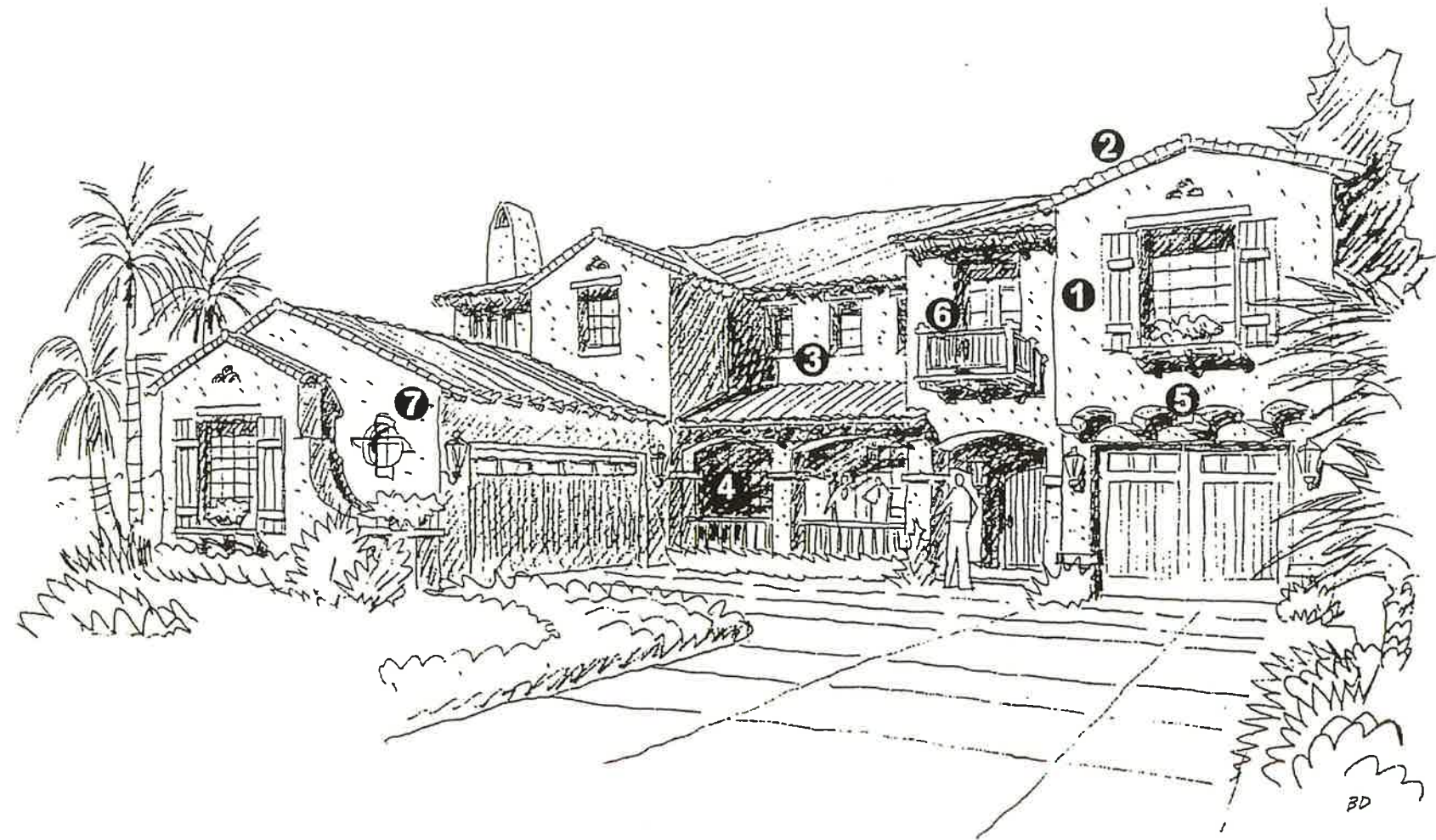


Exhibit A-1

# Architectural Details

## Spanish Colonial

**Essential Elements of Spanish Colonial Design:**

- 1. Stucco walls with a hand made/formed appearance
- 2. Shallow sloped, terra cotta barrel tile roofs in variegated colors
- 3. Thick walls with deep recessed openings, often featuring arches
- 4. Covered patios, porches, loggias
- 5. Detailed primarily at openings
- 6. Balconies
- 7. Decorative iron work



#### 3. Craftsman Style

The Craftsman architectural style is typically characterized by low-pitched gabled roofs, occasionally hipped and with wide, enclosed eave overhangs. The roof rafters are usually exposed and decorative (false) beams or braces are commonly added under the gables. The front porches are full or partial width and the roof is supported by square tapered columns that frequently extend down to the ground level with no breaks. The most common wall claddings are siding, shingle and stucco, with brick or stone accents. Dormers are also found gabled, with exposed rafter ends and braces. Wood trellises also accent this style as either an extended porch or porte cochere.



Essential elements of Craftsman design and examples of acceptable contemporary application of these elements are described as follows:

- a. Shallow pitched roofs with deep overhangs.
  - Roof pitches less than 4 in 12.
  - Eave overhangs of 24 inches or greater.
- b. Deep, broad porch elements with expressive structural components such as square, tapered columns



- c. Front elevation porches with a minimum depth of 6 feet.
  - Substantial porch roof columns with a dimensional width of at least 12 inches.
  - Lower 3 to 4 feet of porch columns faced with stone or brick.
- d. Expressive structural elements such as rafters, brackets, braces and columns

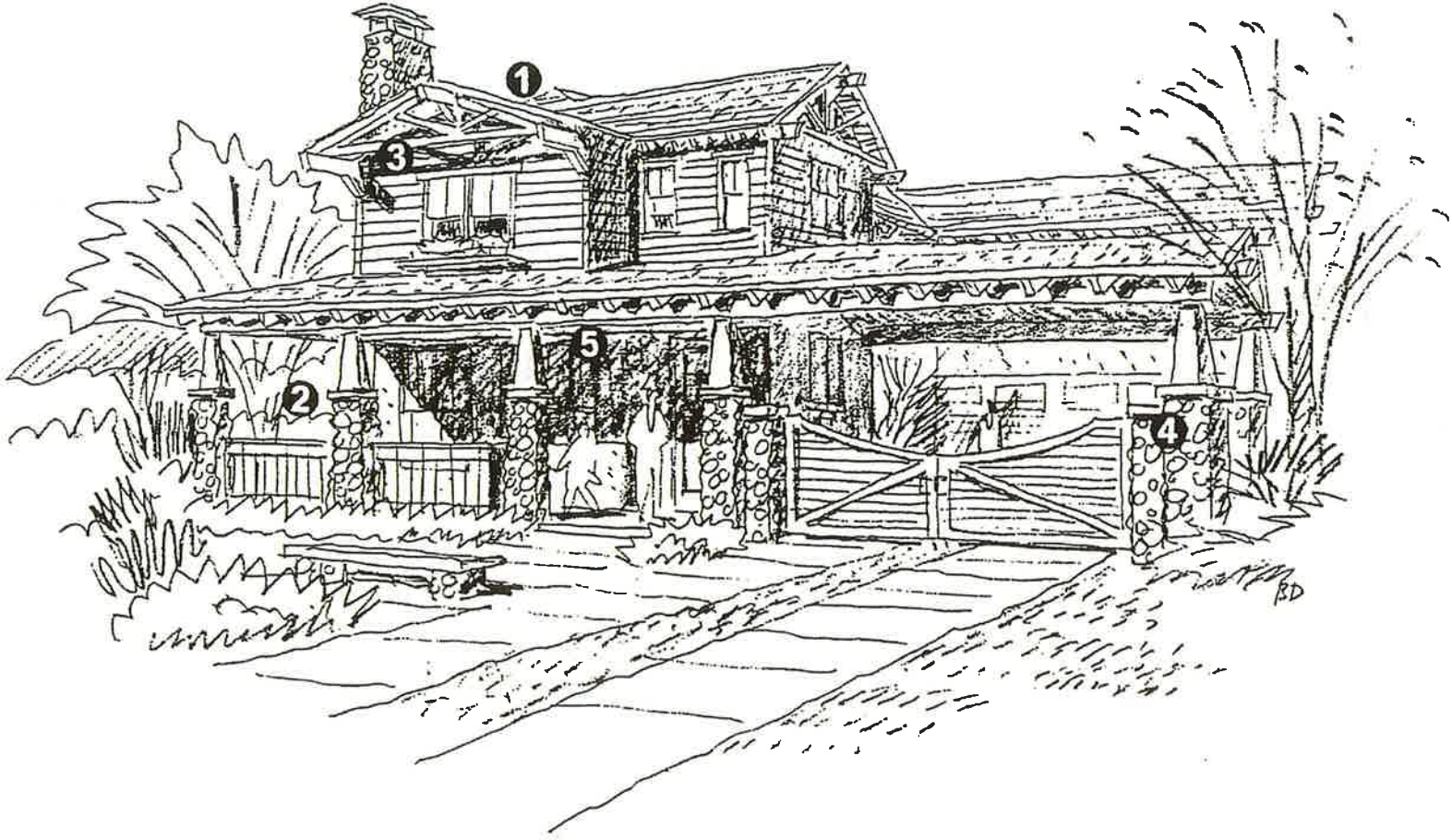


- e. Front elevation eaves and overhangs to be detailed with extended rafter tails.
  - Gable end braces and brackets supporting the eave overhang.
- f. A mixture of materials such as stone, shingles and wood siding.
  - Stone, brick, shingles and wood siding can be used to present a mixture of natural looking materials.
  - Stone and brick can be used as a wainscot treatment.
- g. Asymmetrical massing and window and door compositions. Avoid symmetrical spacing of windows on front elevation.
  - Set front door off center of front elevation.
  - Avoid vertical alignment of windows between the first and second floors on the front elevation.



## Craftsman Style

The Craftsman architectural style is typically characterized by low pitched gabled roofs, occasionally hipped and with wide, enclosed eave overhangs. The roof rafters are usually exposed with decorative (false) beams or braces, commonly added under the gables. The front porches are full or partial width and the roof is supported by square tapered columns, that frequently extend down to the ground level with no breaks. The most common wall cladding is with exposed rafter ends and braces. Wood trellises also accent this style as either an extended porch or porte cochere.



### Essential elements of Craftsman design

1. Shallow pitched roofs with deep overhangs
2. Deep, broad porch elements with expressive structural components such as square, tapered columns
3. Expressive structural elements such as rafters, brackets, braces and columns
4. A mixture of materials such as stone, shingles and wood siding
5. Asymmetrical massing and window and door compositions

Exhibit A-3

# Architectural Details

## Craftsman

**Essential Elements of Craftsman Design:**

- 1. Shallow pitched roofs with deep overhangs
- 2. Deep, broad porch elements with expressive structural components such as square, tapered columns
- 3. Expressive structural elements such as rafters, brackets, braces and columns
- 4. A mixture of materials such as stone, shingles and wood siding
- 5. Asymmetrical massing and window and door compositions



Exhibit A-4

#### 4. Cape Cod/Shingle Style

Cape Cod & Shingle architectural styles are dominant along coastal oriented areas. The most distinctive feature of this style is the roof. Steep pitches and gambrel lines dominate the elevation of all wood siding and shingles with a variety of profiles. Windows are vertical with multiple panes, often used in groupings and symmetrically stacked. Towers, shutters, clerestory windows, dove-cotes, stair railings, detailed gable dormers, cupolas and decorative round windows compliment each other as they enhance simple massing of the main structure.



Essential elements of Cape Cod & Shingle design example of acceptable contemporary application of these elements are described as follows:

- a. Steep pitched roofs, often integrating the gambrel form.
  - Roof pitches greater than 4 in 12.
  
- b. Almost exclusive use of wood exterior materials in siding and shingle forms.

- Combinations of wood siding, materials of a wood-like appearance and shingles as the predominant exterior material on the front elevation.



- c. Broad covered porch elements with classical supporting posts and railings.
  - Front elevation porches with a minimum depth of 6 feet.
  - Round or square porch roof columns designed with vertical fluting and capitals
- d. Vertical window forms with multi-lite upper halves.
  - Windows on front elevation proportionately taller than their width
  - divided lites in the upper portion or the entire window.



## Cape Cod/Shingle

Cape Cod and Shingle architectural styles are dominant along the East Coast resort areas. The most distinctive feature of this style is the roof. Steep pitches and gambrel lines dominate the elevation of all wood siding and shingles with a variety of profiles. Windows are vertical with multiple panes, often used in groupings and symmetrically stacked. Towers, shutters, clerstory windows, dovecotes, stair railings, detailed gable dormers, cupolas and decorative round windows compliment each other as they enhance simple massing of the main structure.

### Essential elements of Cape Cod/Shingle design:

1. Steep pitched roofs, often integrating the gambrel form
2. Almost exclusive use of wood exterior materials in siding and shingle forms
3. Broad covered porch elements with classical supporting posts and railings
4. Vertical window forms with multi-lite upper halves.



Exhibit A-5

# Architectural Details

## Cape Cod/Shingle

- Essential Elements of Cape Code/Shingle Design:**
- 1. Steep pitched roofs, often integrating the gambrel form
  - 2. Almost exclusive use of wood exterior materials in siding and shingle forms
  - 3. Broad covered porch elements with classical supporting posts and railings
  - 4. Vertical window forms with multi-use upper halves

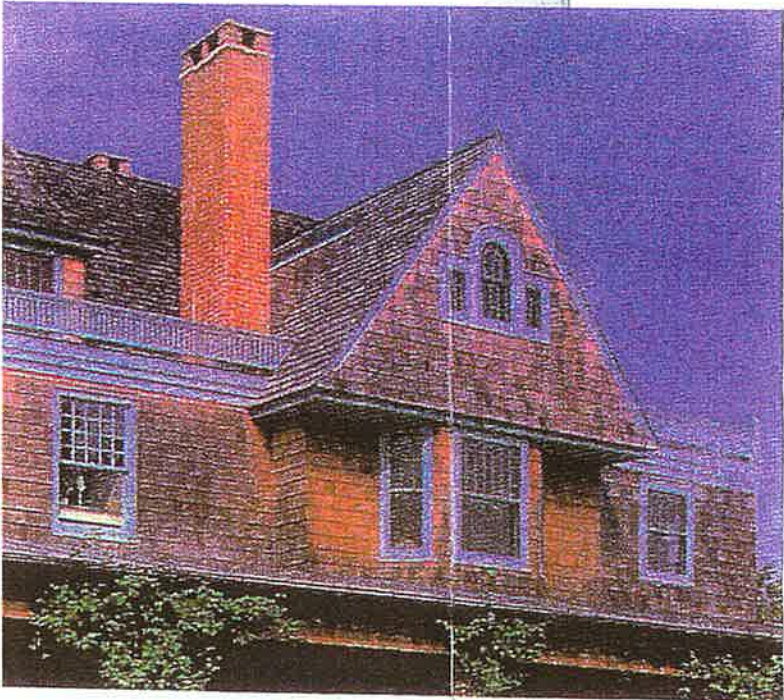
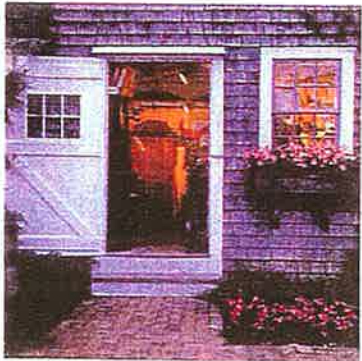


Exhibit A-6

#### 5. American Farmhouse

The American Farmhouse style is typically characterized by wrapping front porches with a variety of wood columns and railings. The farmhouse form is frequently expressed in an asymmetrical cottage style. Characteristic details are cupolas, dovecotes, vertical windows with shutters, wood pot shelves or window boxes, siding and gable end vent details. The massing is simple with gable roofs and may include either shed or side hip roofs occurring over the first floor porch.



Essential elements of American Farmhouse design examples of acceptable contemporary application of these elements are described as follows:

- a. Simple gable roof forms both perpendicular and parallel to the front elevation.
  - Relatively simple gable roof forms running parallel and perpendicular to the lot frontage.
  - The main roof form should be a gable running parallel to the lot frontage.

- b. Broad porches covered by shed roof forms.
  - Front elevation porches with a minimum depth of 6 feet. Porches to be covered.
  - Porch roof is supported by simple turned columns or plain square posts with simple railings.



- c. Simple two story massing forms broken only by covered porches and gables.
  - Gable roof elements running perpendicular to the main roof form.
  - Covered front elevation porches with a minimum depth of 6 feet.
- d. Exterior materials are predominantly wood siding.
  - Use combinations of wood siding, materials with the appearance of wood and shingles as the predominant exterior material on the front elevation



- e. Vertical multi-paned windows.
  - Windows on the front elevation proportionately taller than their width and divided lites throughout the window.

## American Farmhouse

The American Farmhouse style is typically characterized by wrapping front porches with a variety of wood columns and railings. The asymmetrical cottage look may be used. Dormers and symmetrical elevations can also be thematic for the elevation. Characteristic details are cupolas, dovecotes, vertical windows with shutters, wood potshelves siding and gable end vent details. The massing is simple with gable roofs and may include either shed or side hip roofs occurring over the first floor porch.

### Essential elements of American Farmhouse design:

1. Simple gable roof forms both perpendicular and parallel to the front elevation.
2. Broad porches covered by shed roof forms.
3. Simple two story massing forms broken only by covered porches and gables.
4. Exterior materials are predominantly wood siding

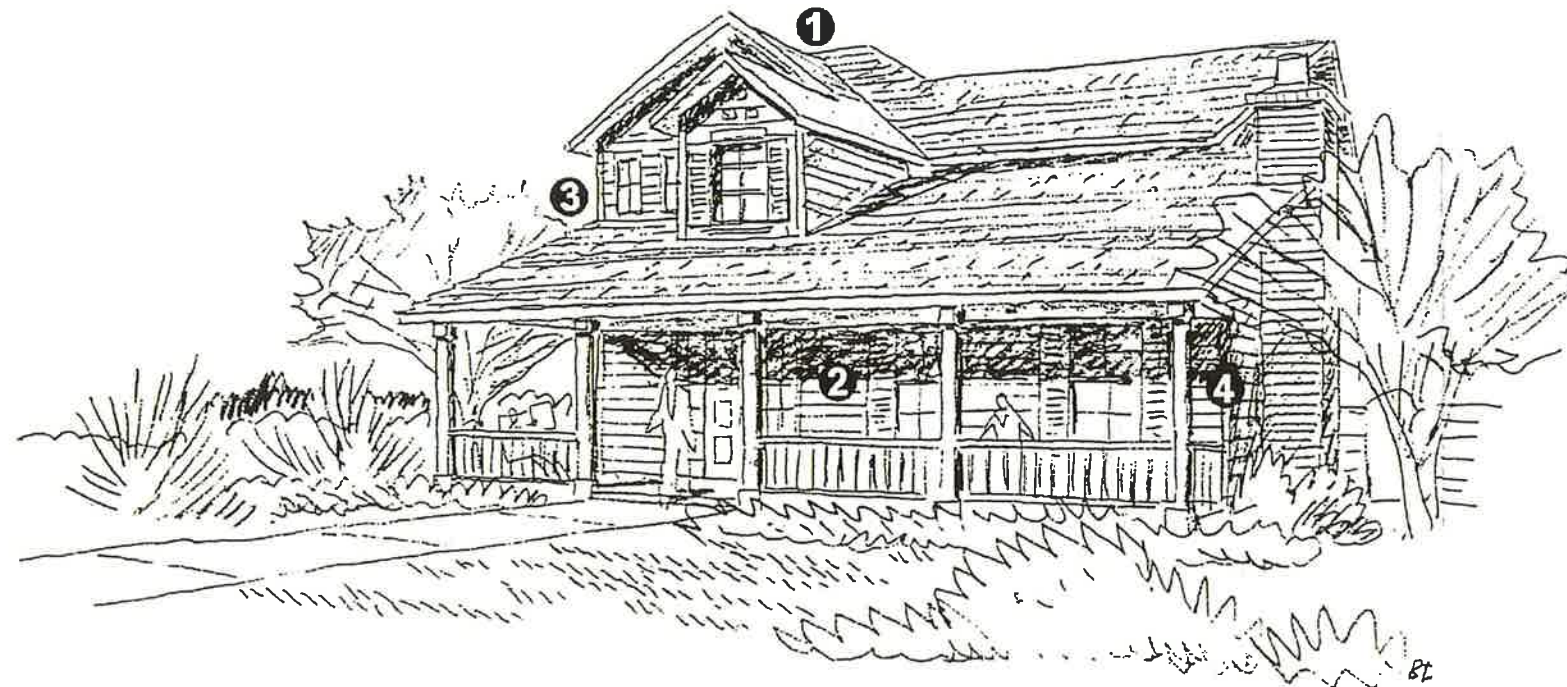


Exhibit A-7

# Architectural Details

## American Farmhouse

**Essential Elements of American Farmhouse Design:**

- 1. Simple gable roof forms both perpendicular and parallel to the front elevation
- 2. Broad porches covered by shed roof forms
- 3. Simple two story massing forms broken only by covered porches and gables
- 4. Exterior materials are predominantly wood siding

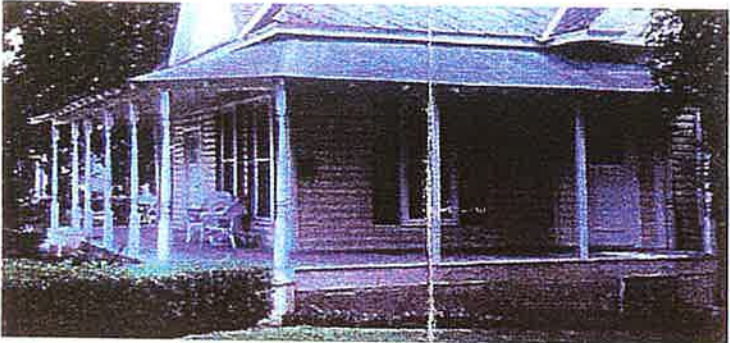


Exhibit A-8

#### 6. Monterey Style

The Monterey style of architecture is typically characterized by simple house forms, relatively low-pitched hip or gable roofs, and wide overhangs. Shutters, balconies, verandas and porches are indicative of the Monterey style. The first and second stories may have different cladding materials, with wood siding above and stucco or brick veneer base below. Second story balconies traditionally are not located above living space.



Essential elements of Monterey design and examples of acceptable contemporary application of these elements are described as follows:

- a. Main roof is shallow hipped or gabled form intersected by front facing gables
  - Relatively simple hip or gable roof forms running parallel to the front of the home, optionally intersected by simple gables with the gable end facing the lot frontage.
  - Shallow pitches between 4 in 12 to 6 in 12.
  - Rafter tails are frequently left exposed
  - Use of barrel or "S" tile roof



- b. Broad porches or cantilevered balconies covered by shed roof forms
  - Front elevation porches with a minimum depth of 6 feet.
  - Balconies primarily not located above living spaces, either cantilevered past the front of the home or supported by columns forming a first story porch.
  - Shed roofs over porches may have a somewhat shallower pitch than the main house, but generally not less than 3.5 in 12.



- c. Simple two story massing forms reflect simple lines
  - Simple box plan form

- d. Exterior materials are predominantly smooth finish stucco with horizontal wood siding on gable ends or second stories
  - Smooth finish stucco on most house walls
  - Horizontal wood siding may be incorporated on the gable ends or on the second story. A change of materials is most often seen inside the area of the balcony.



- e. Vertical window forms with multiple panes, often grouped
  - Windows on the front elevation proportionately taller than their width and divided lites throughout the window.
- f. Expressive structural elements such as shutters, wood corbels, decorative wrought iron accents, arched shapes around entries
  - Incorporate simple details at openings such as arches
  - Include decorative wrought iron accents below windows or as door hardware
  - Accent windows with shutters
  - Include wood corbels as porch or balcony support details

## Monterey Style

The Monterey style of architecture is typically characterized by simple house forms, relatively low-pitched hip or gable roofs, and wide overhangs. Shutters, balconies, verandas and porches are indicative of the Monterey style. The first and second stories may have different cladding materials, with wood siding above and stucco or brick veneer base below. Second story balconies traditionally are not located above living space.

### Essential elements of Monterey design:

1. Main roof is shallow hipped or gabled form intersected by front facing gables
2. Broad porches or cantilevered second story balconies covered by shed roof forms
3. Simple two story massing forms reflect simple lines
4. Exterior materials are predominantly smooth finish stucco with horizontal wood siding on gable ends or second stories
5. Vertical window forms with multiple panes, often grouped
6. Expressive structural elements such as exposed rafter tails, wood corbels, decorative wrought iron accents, arched shapes around entries



Exhibit A-9

# Architectural Details

## Monterey

### Essential Elements of Monterey Design:

- 1. Main roof is shallow hipped or gabled form intersected by front facing gables
- 2. Board porches or cantilevered second story balconies covered by shed roof forms
- 3. Simple two story massing forms reflect simple lines
- 4. Exterior materials are predominately smooth finish stucco with horizontal wood siding on gable ends or second stories
- 5. Vertical window forms with multiple panes, often grouped
- 6. Expressive structural elements such as exposed rafter tails, wood corbels, decorative wrought iron accents, arched shanes around entries



Exhibit A-10

#### F. MULTI-FAMILY ATTACHED ARCHITECTURAL DESIGN GUIDELINES

Unlike detached residential developments, attached projects may use only one or more architectural styles described in Section E throughout the project. For the style that is chosen, at least four of the essential design elements of that style must be incorporated into the exterior design.

Transitions from attached developments to single family detached developments should be carefully designed to avoid abrupt changes in scale and /or minimize intrusions on privacy. This can be achieved by reducing the height and scale of the attached project along the interface with the detached product, and by careful placement of buildings, windows, decks and patios to minimize the loss of solar access and privacy.



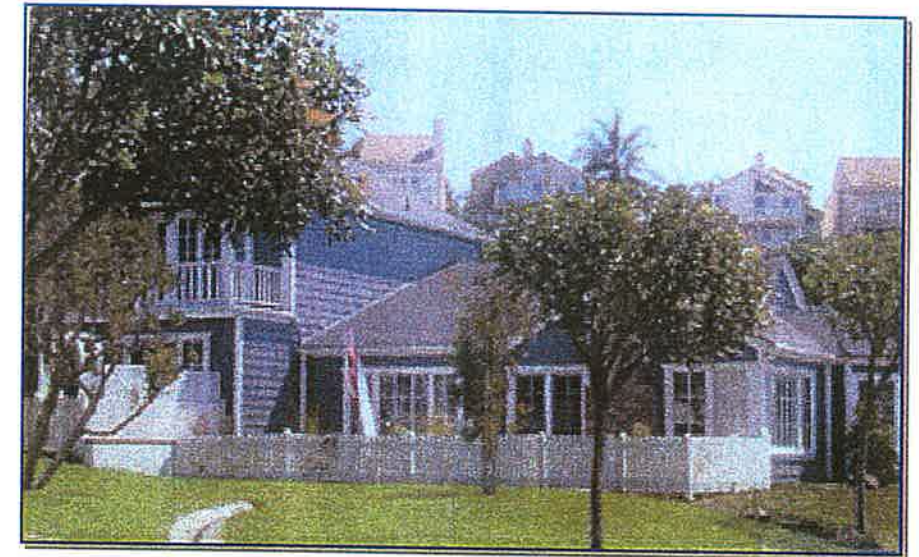
##### Building Mass & Scale

- Building massing should not seem boxy, but appear to result from the combinations of several compatible geometric forms. Large monolithic forms should be avoided.

- Combinations of one and two story elements on the same building are encouraged to create visual diversity.
- Architectural elements such as chimneys, balconies, porches, pot shelves and window surrounds (consistent with the architectural style) should be provided for visual diversity.
- To the extent possible, entrances to individual units should be plainly visible.
- The overall composition of buildings should incorporate proportion and rhythm among a series of unit "bays" in the overall building mass.
- Building mass should be articulated to the extent practical to reflect the historical context of the architectural style.
- Balconies, gables, eaves and other projections may be used to break up simple architectural forms.

##### Materials & Colors

- Building materials and colors should compliment the natural surroundings of the site. Typical exterior wall colors are muted earth tones.
- Stucco and combinations of stucco and wood or materials of a wood-like appearance, having the necessary fire retardant characteristics, are encouraged for exterior surfaces.
- Where stucco is used, it should have a final coat of integral color in a muted tone consistent with the architectural style.
- Use of natural materials such as wood, wood-like details and trim, and tile or wrought iron are encouraged for design accent and trim.
- Accent color should be used for shutters, awnings, trim, fascia, balcony rails, stucco recesses, inlaid tile bands or cornice bands, and should relate to the architectural form and character of the building.



##### Roof Form & Materials

- When a project includes more than one building type roof forms should vary from one building to the next where practicable, in order to achieve visual interest and diversity.
- Roof pitch may vary, but generally be consistent with the architectural style.
- Varied ridge heights should be utilized to create offsets in the ridgeline to better articulate roof forms and building massing.
- Roof colors and composition should vary within a project to add visual diversity.
- Roof colors shall be a neutral earth tone.
- Roof materials should be concrete, clay, cement, composition shingle or other fire resistant materials.
- Roof forms, materials and colors of garages or other detached structures should be designed to reflect the character and materials of the primary structure.



#### Building Elevations & Siting

- Each elevation should be designed with a proper visual balance and sense of cohesion, and all elevations of a building should have detailing appropriate to the style, not just the front elevation.
- Where building elevations other than the front (street) elevation are visible from a side street, park, or other public area, these visible elevations should have the same level of detail and articulation as the front elevation.
- Street facing elevations on attached projects shall have additive or subtractive elements to help break up the mass of the building façade. Additive elements include dormer windows, porches, bay windows, exterior stairs and similar architectural features. Subtractive elements include such things as carved openings, niches, windows and doors.
- Functional covered balconies, decks, covered front porches, and other architectural detailing that reflect the style of the building are encouraged.
- Use offset window, door, and exterior deck placement to preserve visual privacy.
- Site buildings to take advantage of open space views, courtyard open spaces or private recreational facilities.

- Limit buildings to 4 to 6 units to avoid overly long building elevations.
- Units located adjacent to streets must face onto the street, or may be grouped around a central green in a configuration which as a whole fronts the street.
- When units face a street, the primary facades and building entries should orient to the street.
- Off-street parking lots are allowed on no more than twenty percent of the parcel's street frontage.
- Street oriented windows should be well articulated, and windows above the first story should have a vertical dimension equal to or greater than the horizontal dimension.

#### Additional Building Components

- Exposed gutters and downspouts should be painted to match adjacent roof, fascia, trim or wall colors.
- Gutters and downspouts should be placed so as not to detract from or compete with the architectural design of the building.
- No exterior antennas are allowed.
- All flashing, sheet metal, vents and pipes should be painted to match the adjacent surface.
- Skylights may be incorporated into the roof design to provide natural light and passive solar energy. Frame color should blend with the surrounding roof color. Natural aluminum frames are not allowed.

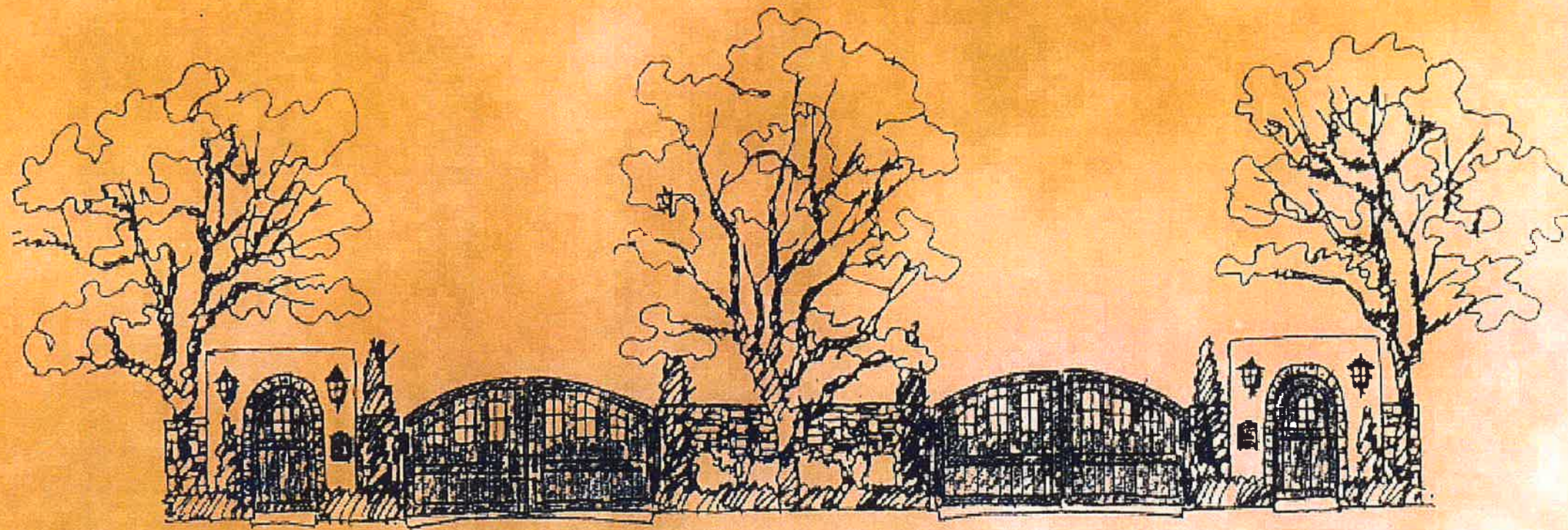


#### Open Space

- Provide private open space adjacent to each unit, partially screened from common outdoor spaces.
- Provide pedestrian paths to connect to parking, open space and recreational facilities.
- Use walls, arbors, trellises and hedges to define and separate outdoor recreation areas.

#### Parking Lots and Garages

- Parking lots should be designed and lighted to ensure pedestrian safety.
- Long rows of garages should be avoided.
- Garages and parking spaces should be distributed throughout a development to ensure that each unit's assigned parking is reasonable close to the unit.
- Guest parking should be distributed throughout the development and clearly identified.
- Trash enclosures with solid screening shall be distributed throughout a development and sited to allow vehicular access from pick-up vehicles.



# Landscape Design Guidelines

The landscape theme for Pacifica San Juan will play a significant role in establishing the character of the community. Although diversity in neighborhood residential design is a major objective for Plan, the landscape design concept is intended to create elements of design continuity to reinforce a "sense of place" for the community as a whole. Major features of the landscape design include: A) community entry treatments, B) walls & fences, C) community furnishings, including lighting, D) streetscape treatments, E) parks and open spaces, and F) the community plant palette. The Preliminary Landscape Plan for the community follows as Exhibit L-1.

Some information in this chapter is provided to aid in developing a sense of the character for Pacifica San Juan. Other information relates to specific requirements for developing the community. An element that is a requirement, not a guideline, is noted by the words "shall" or "must."

### A. COMMUNITY ENTRY TREATMENT

Entry treatments are provided in Pacifica San Juan at both the community and neighborhood level. Locations for each entry treatment are shown on the Entry Exhibit Key Map, Exhibit L-2.

#### 1. Community Entry Monument

The primary entry into Pacifica San Juan is along "A" Street. To highlight the community as a distinct area within the city, a community entry monument is located southeast of the intersection of "A" and "B" streets. This entry feature incorporates design elements such as low arches, low pitched roof elements and adobe brick or slump stone block to reflect the early Spanish architectural influences on San Juan Capistrano. Retaining walls are terraced up the slope and incorporate the same materials. These provide for significant planting terraces. Large heritage trees such as California peppers, sycamores, or oaks are incorporated into the entry monument design to create a strong statement and sense of arrival. Plan and section illustrations for this dramatic entry are provided on Exhibits L-3 and L-4.

#### 2. Neighborhood Entry Monuments

Each of the five single-family detached home neighborhoods within Pacifica San Juan will include a unique entry gate feature. These gates incorporate a similar design style and use of materials to the community entry. Large specimen trees are incorporated into the design for all five entry gate areas.

Plan and section views of all five of these gated entries are provided on Exhibits L-5 through L-14. Each neighborhood entry also incorporates common design features for public convenience and safety. Each provides separate pedestrian and vehicular gates, dual entry travel lanes, a call box and turn around area located outside the gate, and a single exiting lane. These entries have been designed to meet the appropriate emergency response guidelines.

The landscape material will vary for each neighborhood to establish individual neighborhood identity. Design consistency for the landscaped materials is established in several ways. A corner marker is located behind the sidewalk on both sides of the project entries. These corner markers are low adobe brick or stone pilasters that establish spatial definition for the overall entry sequence. A detail of the corner marker is shown on Exhibit L-15. Also providing design continuity, constant widths for the parkway and sidewalk will be maintained, along with a program of street trees within the parkway. The species for these street trees may also vary by neighborhood.

### B. WALLS & FENCES

#### 1. Community Theme Walls and Fences

The neighborhood perimeter walls and fences for Pacifica San Juan provide a sense of commitment to community identity as laid out in the Comprehensive Development Plan. The community theme wall materials and style allow for continuity throughout the project, while the private residential walls and fencing provide for the flexibility to relate to each architectural style. The primary purpose of these guidelines is to provide a visual continuity within

Pacifica San Juan while allowing individual residents to select a complimentary wall fence design. Community theme walls will be located around the perimeter of each neighborhood, and select interior locations of individual builder parcels. These fences provide privacy for homeowners and mark distinct boundaries between individual owner and homeowner association maintenance areas.

Some portions of the Pacifica San Juan will incorporate masonry walls to provide noise mitigation.

Depending on the location and view opportunity, the community theme walls are constructed of either mortar wash slump stone block or wrought iron. The masonry walls will have a mortar wash cap. Pilasters will be provided at regularly spaced intervals along the wall and will also be included at corners and changes in direction as needed. View fences will be located adjacent to some open spaces and homeowner association maintained slopes. These fences allow for views of adjacent and nearby scenery.

A split rail fence will be installed along the riding and hiking trail and pedestrian paths that wind through the community. In some instances this fencing is located adjacent to streets between the sidewalk and pathway. This fencing will reinforce the semi-rural character of San Juan Capistrano.

Exhibit L-16 illustrates the locations of the community fencing throughout Pacifica San Juan. Exhibits L-17A through L-17E provide details of each of these fencing styles.

#### 2. Private Residential Walls and Fencing

Walls that are viewed from the street may be of masonry block construction or vinyl fence material consistent with the architectural style of the home. Homeowner privacy fencing shall not exceed 6 feet in height. Other privacy fencing shall be made of durable, synthetic material, block or wrought iron.

Interior fencing, gates across a side-driveway, and decorative attachments are to reflect the architectural style of the home.

Refer to the details of the architectural style for examples of suitable materials and design details.

### C. COMMUNITY FURNISHINGS

#### 1. Lighting

The goal for street lighting in Pacifica San Juan is to promote the historic San Juan Capistrano theme. This includes a walkable community concept, accentuating safety for a pedestrian friendly environment. More and smaller lights are preferred to fewer, high-intensity lights. This promotes a human scale design concept with visibility of night sky features that can be enjoyed by night walking.

The installation of street lights shall conform to all spacing, mounting heights, mast arm length and lighting level standards specified by the City of San Juan Capistrano. Proposed street light locations are identified on Exhibit L-18.

#### 2. Tree Lighting

There shall be up lighting at all "heritage trees" which are located at the entry statements to the community and each neighborhood in addition to the standard lighting requirements by the City of San Juan Capistrano.

Lighted bollards are located at pedestrian crossings to accentuate the Pacifica San Juan concept of a walkable community by night. Bollard type lighting may also be located within parks to denote trails and provide for user safety.



#### 3. Community Elements

To reinforce the San Juan Capistrano community concept, unifying hardscape elements are integrated into the community design. These elements will be incorporated throughout the residential areas, parks and open spaces. These elements may include special paving materials, textures and colors at project entries,

street furniture and decorative elements such as planters, benches, bicycle racks or drinking fountains. Examples of the types of street furniture that may be included are shown below.



Bike Rack

#### 4. Mailboxes

Mailboxes are a necessary component of the residential streetscape and careful consideration should be given to their style and placement. Grouped mailboxes should be placed so as not to interfere with pedestrian movements or motorists' visibility. The style of mailboxes and stands should blend with other materials chosen within the neighborhood in which they are located. Exhibit L-19 depicts potential mailbox locations and Exhibit L-20 illustrates the mailbox enclosure. These locations may be refined based on actual neighborhood site plans and are subject to review by the U.S. Postal Service.

### D. STREETScape TREATMENTS

The following streetscape treatments shall be incorporated into the neighborhoods to create project identity while reinforcing the overall planting concept of Pacifica San Juan.

#### 1. Streetscapes

The planting concept for "A" Street includes tree species that will reach a large size at maturity, in order to provide shade over the pavement and create a cooling effect. The parkways are to be planted with turf or a low growing ground cover. Any slopes adjacent to the roadway are tiered with massing of taller shrubs at the top, proceeding down the slope with a flowering ground cover, culminating with lower growing shrubs near the trail or sidewalk.

#### 2. Street Tree Planting

Interior neighborhood streets will continue the City's existing street tree pattern. The objective of street tree planting is to create a canopy over the sidewalk and portions of the street, which requires close and uniform spacing of the trees. There shall be one species of street tree for each neighborhood. An additional secondary accent tree that is complimentary to the street tree may be included for variety and interest.

The street tree planting for interior neighborhood streets will consist of a minimum of one street tree per lot. Street trees will be located adjacent to the sidewalk with adjustments in spacing so as not to interfere with driveways and street lighting or signage. The plant palette for Pacific San Juan is included at the end of these Design Guidelines and provides neighborhood street tree selections.

Accent trees shall be located at selected project corners in addition to the required street tree. These accent trees predominate the street tree selection for these areas.

## E. PARKS, TRAILS AND OPEN SPACES

### 1. Vista Park

Vista Park is located adjacent to “A” Street between the Harbor Vista and Valley neighborhoods. Plans for this area are based on the existing topography. The character of the park will be primarily passive, natural open space with paved and unpaved multi purpose trails.

Vista Park will be constructed by the master developer and then maintained by the Pacifica San Juan Homeowners Association. This park provides for passive activities such as walking, watching children play, picnicking, and enjoying an outdoor resting place. Active uses will include activity nodes along the trails, such as a tot lot and open, unstructured play spaces, and the pathway system for cycling and jogging.

To accommodate park visitors, Vista Park will have a vehicular parking lot and access for emergency vehicles. The amount of parking and access provisions will be in accordance with the City of San Juan Capistrano parking and emergency vehicle standards.

### 2. Multi-Use Paths and Open Spaces

Multi-use open space and trail areas are provided through the community, as indicated in the Comprehensive Development Plan. These open spaces provide spatial separation between uses, provide buffers between neighborhoods, and promote pedestrian circulation. All of these open space areas will be constructed and installed by the master developer and maintained by the Pacifica San Juan Homeowners Association.

The multi-purpose trail has vital connections for “equestrians” and bicyclists. The equestrian trail surface is decomposed granite or similar material for sure footing. A drainage channel treatment at the downhill edge is provided to control erosion and direct water away from the trail. Dense planting up to the trail edge is also included.

### 3. Fuel Modification Planning

In order to provide a safer environment, a fuel modification program to reduce wildland fire hazard will be implemented. An appropriate buffer will be developed adjacent to natural open spaces, allowing for fuel management between structures and natural areas. A portion of this buffer will be irrigated and other portions of the buffer will require thinning of the natural vegetation to limit the amount of potentially flammable vegetation allowed to grow. This will reduce the risk of wildfire spreading into the community. Exhibit L-21 illustrates the locations of fuel modification areas around Pacifica San Juan, pursuant to the requirements of the Orange County Fire Authority and the plans previously approved by the Fire Authority for Pacifica San Juan.

## F. PLANT PALETTE

### 1. Streetscapes and Entries

#### Trees

Agonis Flexuosa  
 Koelreuteria Bipinnata  
 Lagerstroemia Indica  
 Pistacia Chinensis  
 Platanus Aceriflora  
 Platanus Racemosa  
 Pyrus Calleryana  
 Pyrus Kawakamii  
 Quercus Ilex  
 Tipuana Tipu

Willow Myrtle  
 Chinese Flame Tree  
 Crepe Myrtle  
 Chinese Pistache  
 London Plane Tree  
 California Sycamore  
 Ornamental Pear  
 Evergreen Pear  
 Holly Oak  
 Tipu

#### Shrubs

Bougainvillea Spp.  
 Calliandra Haematocephala  
 Cistus Spp.  
 Dodonea Viscosa ‘Purpurea’  
 Escallonia Fradesii  
 Grevillea Noelli  
 Hemerocallis Spp.  
 Hesperaloe Parviflora  
 Lantana Camara

Bougainvillea  
 Pink Powder Puff  
 Rockrose  
 Purple Hop Bush  
 Escallonia  
 Grevillea  
 Daylily  
 Red Yucca  
 Lantana

Lantana Montevidensis  
 Lavandula Spp.  
 Ligustrum Japonicum ‘Texanum’  
 Muhlenbergia Rigens  
 Myoporum ‘Pacificum’  
 Myoporum Parvifolium  
 Nasella Stipa  
 Phormium Spp.  
 Photinia Frazerii  
 Pittosporum Tobira  
 Rhamphiolepis Spp.  
 Rosa  
 Rosmarinus Officinalis  
 Salvia Greggii  
 Salvia Ceucantha  
 Trachelospermum Jasminoides  
 Xylosma Congestum

Lantana  
 Lavender  
 Wax Leaf Privet  
 Deer Grass  
 Myoporum  
 Myoporum  
 Mexican Feather Grass  
 Flax  
 Fraser’s Photinia  
 Tobira  
 Indian Hawthorne  
 Rosa  
 Rosemary  
 Autumn Sage  
 Mexican Bush Sage  
 Star Jasmine  
 Xylosma

### 2. Parks and Open Space

#### Trees

Arbutus Unedo  
 Citrus  
 Eriobotrya deflexa  
 Jacaranda Mimosifolia  
 Koelreuteria Bipinnata  
 Quercus Agrifolia  
 Schinus Molle  
 Tipuana Tipu  
 Tristania conferta

Strawberry Tree  
 Bronze Loquat  
 Jacaranda  
 Chinese Flame  
 California Live Oak  
 California Pepper  
 Tipu Tree  
 Brisbane Box

#### Shrubs

Bacharis Pilularis  
 Calliandra Haematocephala  
 Cistus Spp.  
 Cotoneaster Spp.  
 Dodonea Viscosa ‘Purpurea’  
 Eleagnus Pungens  
 Escallonia Fradesii  
 Feijoa Sellowiana  
 Grevillea Noelli  
 Hesperaloe Parviflora  
 Heteromeles Arbutifolia

Dwarf Coyote Bush  
 Pink Powder Puff  
 Rockrose  
 Cotoneaster  
 Purple Hop Bush  
 Silverberry  
 Escallonia  
 Pineapple Guava  
 Grevillea  
 Red Yucca  
 Toyon

Kniphofia Uvaria  
 Lantana Camara  
 Lantana Montevidensis  
 Lavandula Spp.  
 Ligustrum Japonicum 'Texanum'  
 Myoporum 'Pacificum'  
 Myoporum Parvifolium  
 Phormium Spp.  
 Photinia Frazerii  
 Pittosporum Tobira  
 Plumbago Auriculata  
 Prunus Carolina  
 Prunus Illicifolia  
 Rhamphiolepis Spp.  
 Rhus Integrifolia  
 Rosmarinus Officinalis  
 Trachelospermum Jasminoides  
 Xylosma Congestum

Red Hot Poker  
 Lantana  
 Lantana  
 Lavender  
 Wax Leaf Privet  
 Myoporum  
 Myoporum  
 Flax  
 Fraser's Photinia  
 Tobira  
 Cape Plumbago  
 Carolina Cherry  
 Hollyleaf Cherry  
 Indian Hawthorne  
 Lemonade Berry  
 Rosemary  
 Star Jasmine  
 Xylosma

Bacharis Pilularis  
 Bougainvillea  
 Cistus Spp.  
 Cotoneaster Spp.  
 Dodonea Viscosa 'Purpurea'  
 Echium Candican  
 Eleagnus Pungens  
 Escallonia Fradesii  
 Grevillea Noelli  
 Hemerocalis Spp.  
 Hesperaloe Parviflora  
 Heteromeles Arbutifolia  
 Kniphofia Uvaria  
 Lantana Camara  
 Lantana Montevidensis  
 Melaleuca Nesophila  
 Myoporum 'Pacificum'  
 Myoporum Parvifolium  
 Phormium Spp.  
 Pittosporum Tobira  
 Plumbago Capensis  
 Prunus Illicifolia  
 Rhamphiolepis Spp.  
 Rhus Integrifolia  
 Rhus Ovata  
 Ribes Sanguineum  
 Rosmarinus Officinalis  
 Salvia Spp  
 Tecoma Capensis  
 Xylosma Compacta

Dwarf Coyote Bush  
 Bougainvillea  
 Rockrose  
 Cotoneaster  
 Purple Hop Bush  
 Pride Of Madeira  
 Silverberry  
 Escallonia  
 Grevillea  
 Daylily  
 Red Yucca  
 Toyon  
 Red Hot Poker  
 Lantana  
 Lantana  
 Pink Melaleuca  
 Myoporum  
 Myoporum  
 Flax  
 Tobira  
 Cape Plumbago  
 Hollyleaf Cherry  
 Indian Hawthorne  
 Lemonade Berry  
 Sugar Bush  
 Red Flowering Currant  
 Rosemary  
 Sage  
 Cape Honeysuckle  
 Dwarf Xylosma

3. Slopes

Trees

Alnus Cordata  
 Arbutus Unedo  
 Platanus Racemosa  
 Quercus Agrifolia  
 Schinus Molle

Italian Alder  
 Strawberry Tree  
 California Sycamore  
 California Live Oak  
 California Pepper

Shrubs

Abelia Spp.  
 Acacia 'Desert Carpet'  
 Arctostaphylos D 'Howard McMinn'  
 Abelia  
 Acacia  
 H. M. Mansanita

4. Fuel Modification

Trees

Alnus Cordata  
 Arbutus Unedo  
 Platanus Racemosa  
 Quercus Agrifolia

Italian Alder  
 Strawberry Tree  
 California Sycamore  
 California Live Oak

Shrubs

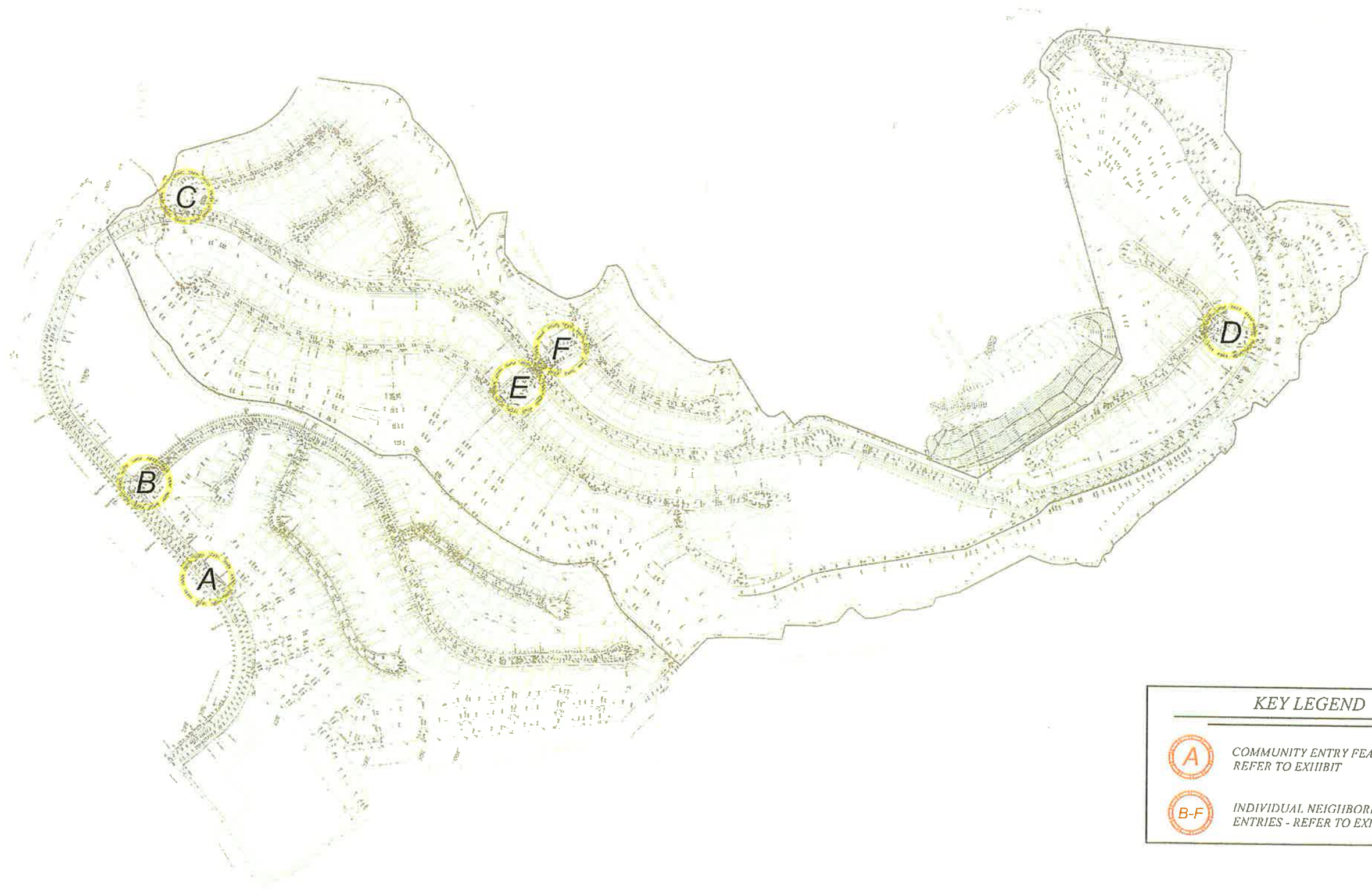
Bacharis Pilularis  
 Bromus Carinatus  
 Ceanothus Gloriosus 'Point Reyes'  
 Ceanothus Griseus 'Louis Edmunds'  
 Ceanothus Griseus Horizontalis  
 Cistus Hybridus  
 Cistus X Purpureus  
 Cotoneaster Congestus 'Likiang'  
 Escholzia Californica  
 Galvezia Speciosa  
 Hesperaloe Parviflora  
 Kniphofia Uvaria  
 Lantana Camara Cultivars  
 Myoporum Parvifolium  
 Myoporum 'Pacificum'  
 Oenothera Speciosa  
 Plumbago Auriculata  
 Prunus Illicifolia  
 Ribes Sanguineum

Coyote Bush  
 California Brome  
 Point Reyes Ceanothus  
 Louis Edmunds Ceanothus  
 Yankee Point  
 White Rockrose  
 Orchid Rockrose  
 Likiang Cotoneaster  
 California Poppy  
 Bush Snapdragon  
 Red Yucca  
 Red Hot Poker  
 Yellow Sage  
 Myoporum  
 Myoporum  
 Show Evening Primrose  
 Cape Plumbago  
 Hollyleaf Cherry  
 Red Flowering Currant



PRELIMINARY LANDSCAPE PLAN  
EXHIBIT L-1

# LANDSCAPE DESIGN GUIDELINES

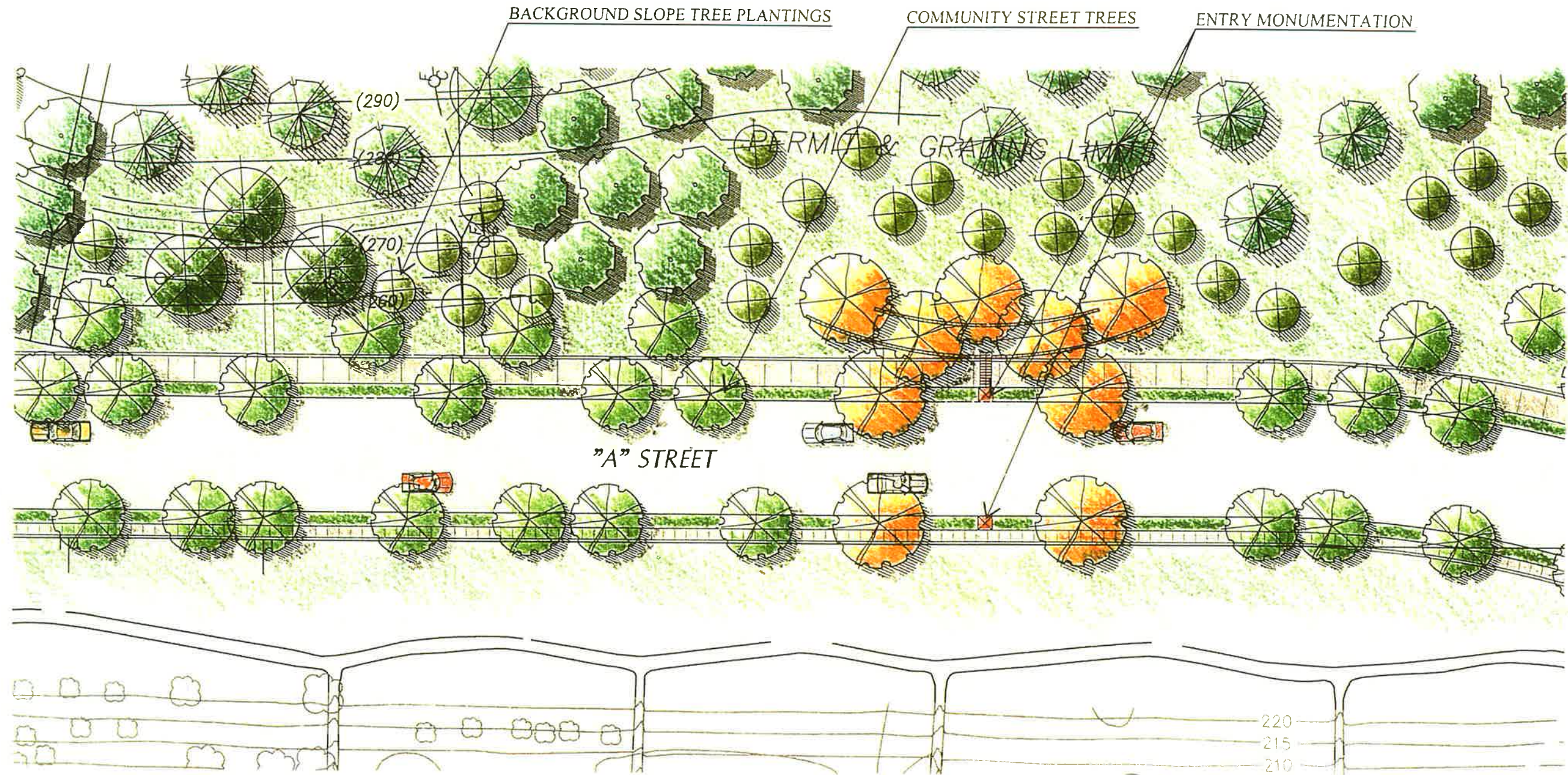


**KEY LEGEND**

- A** COMMUNITY ENTRY FEATURE - REFER TO EXHIBIT
- B-F** INDIVIDUAL NEIGHBORHOOD GATED ENTRIES - REFER TO EXHIBITS

ENTRY EXHIBIT KEY  
Not to Scale  
EXHIBIT L-2

# LANDSCAPE DESIGN GUIDELINES



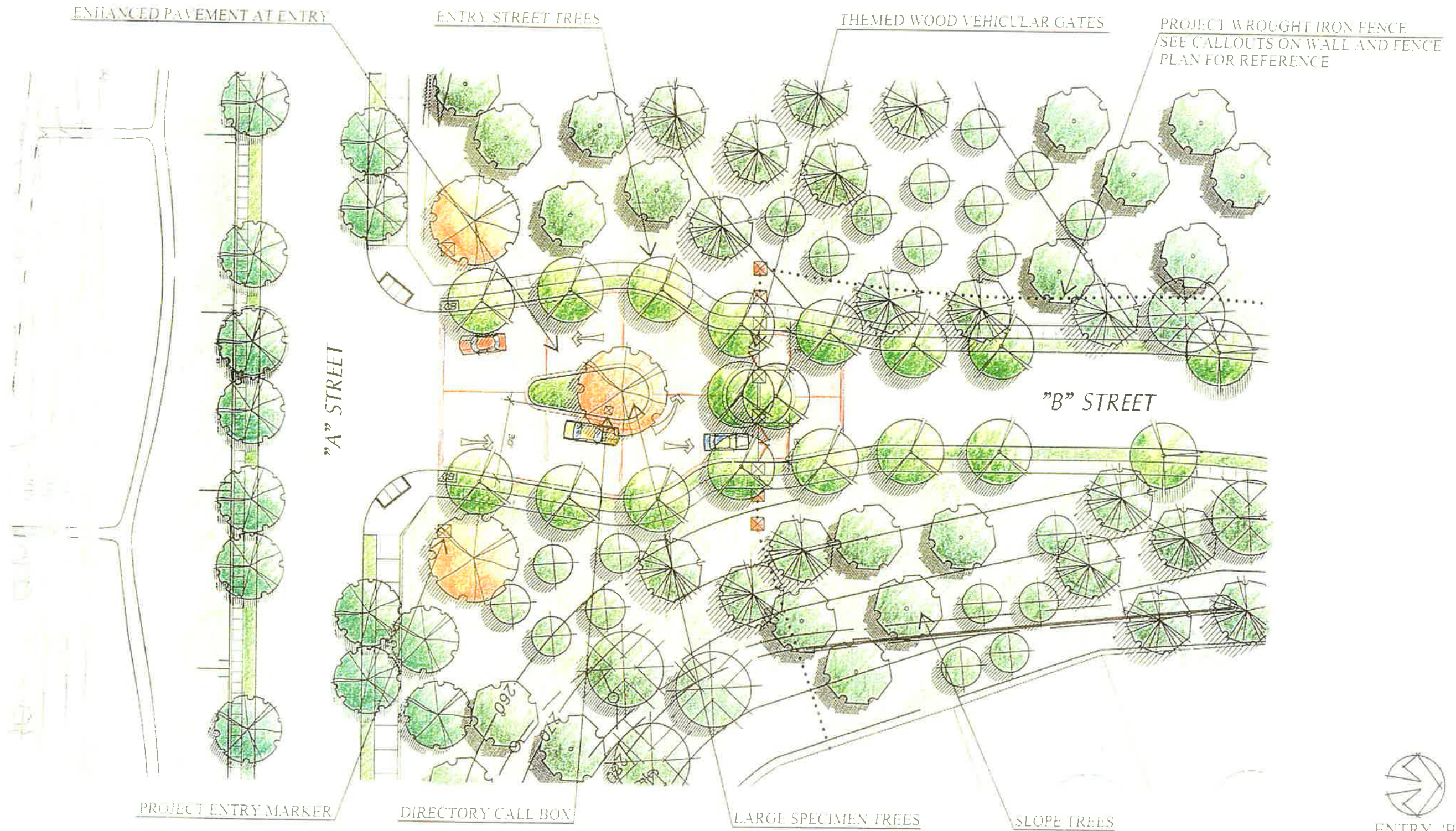
ENTRY 'A'  
Scale: 1"=40'  
EXHIBIT L-3

# LANDSCAPE DESIGN GUIDELINES



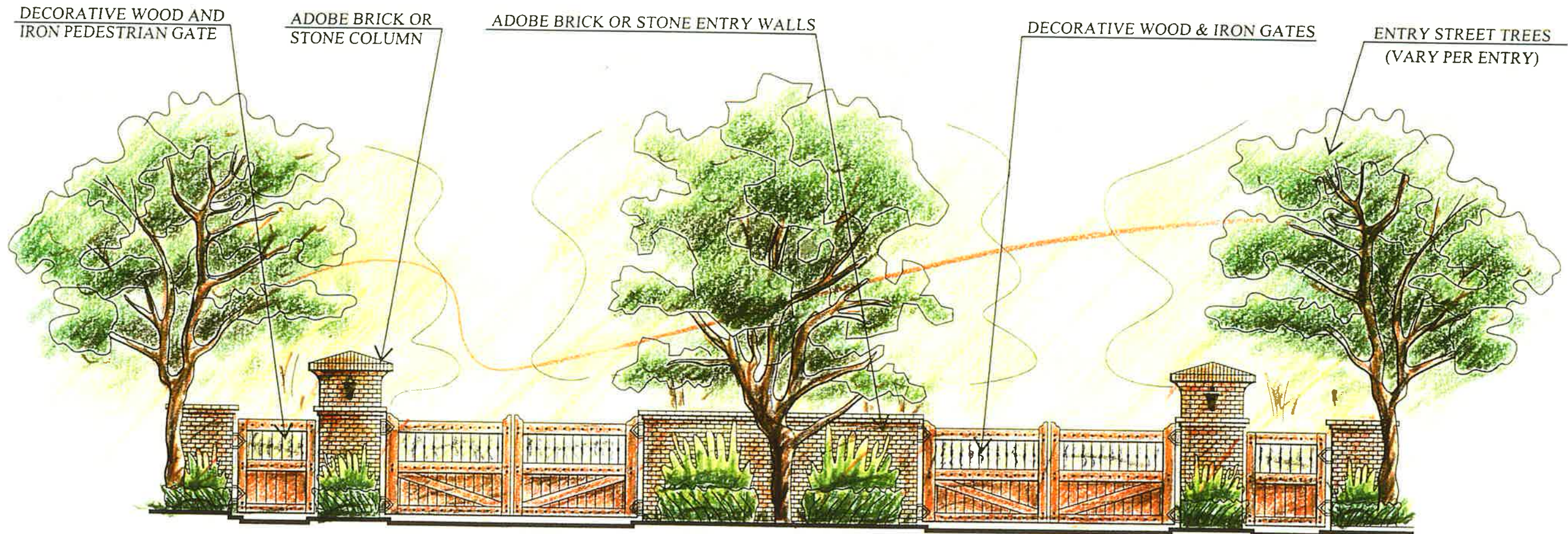
ENTRY 'A'  
Not to Scale  
EXHIBIT L-4

# LANDSCAPE DESIGN GUIDELINES



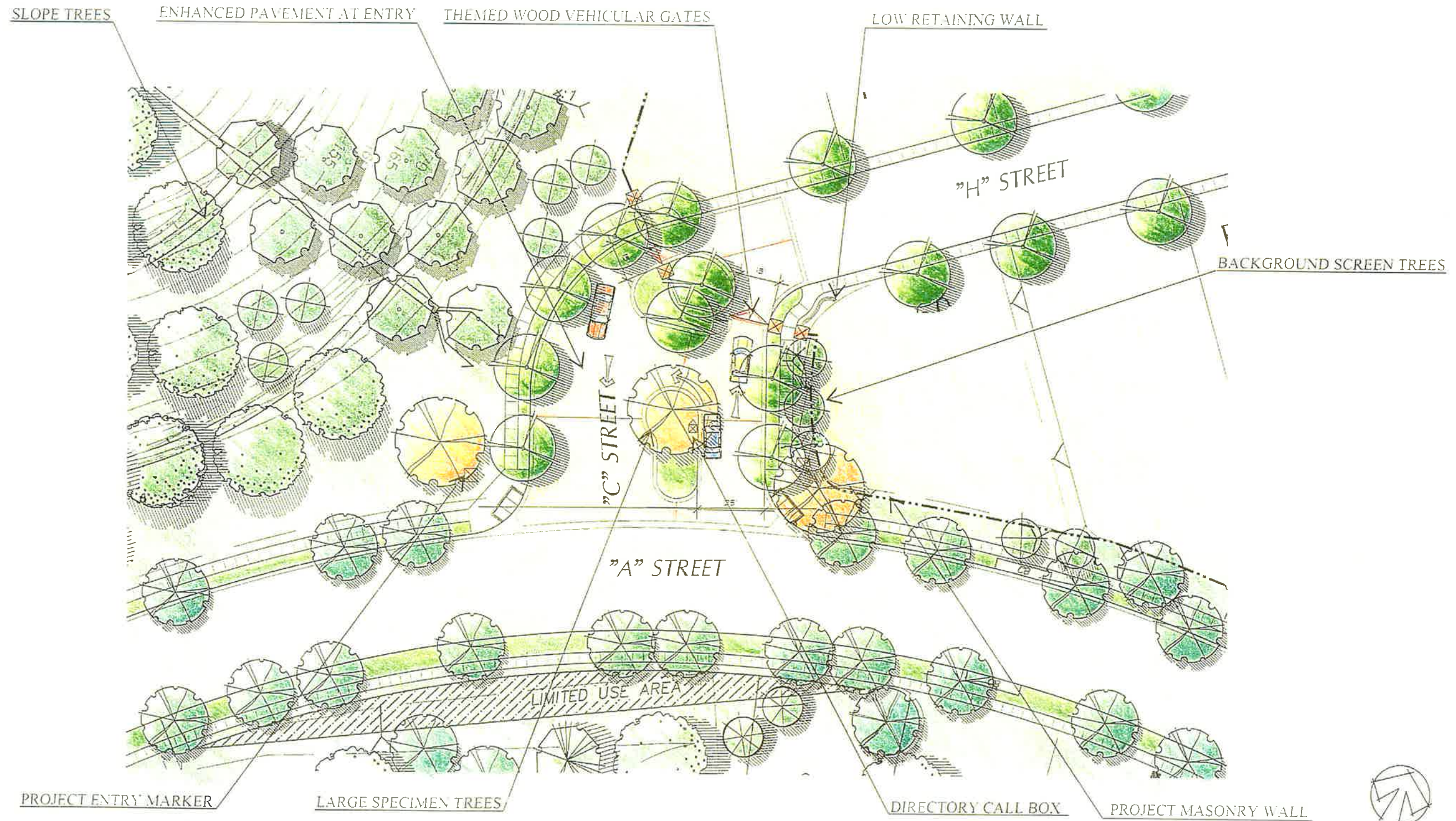
  
ENTRY 'B'  
Scale 1"=20'  
EXHIBIT U-5

# LANDSCAPE DESIGN GUIDELINES



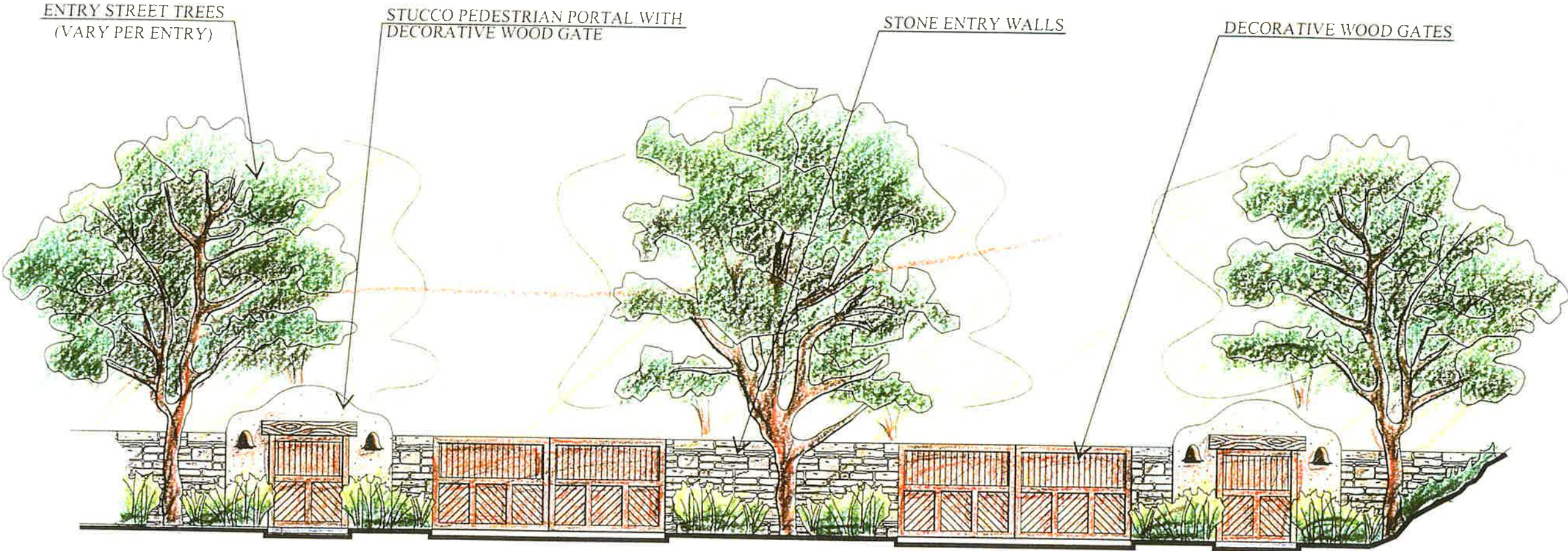
ENTRY 'B'  
Not to Scale  
EXHIBIT L-6

# LANDSCAPE DESIGN GUIDELINES



ENTRY 'C'  
Scale: 1"=40'  
EXHIBIT L-7

LANDSCAPE DESIGN GUIDELINES



ENTRY 'C'  
Not to Scale  
EXHIBIT L-8

# LANDSCAPE DESIGN GUIDELINES



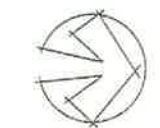
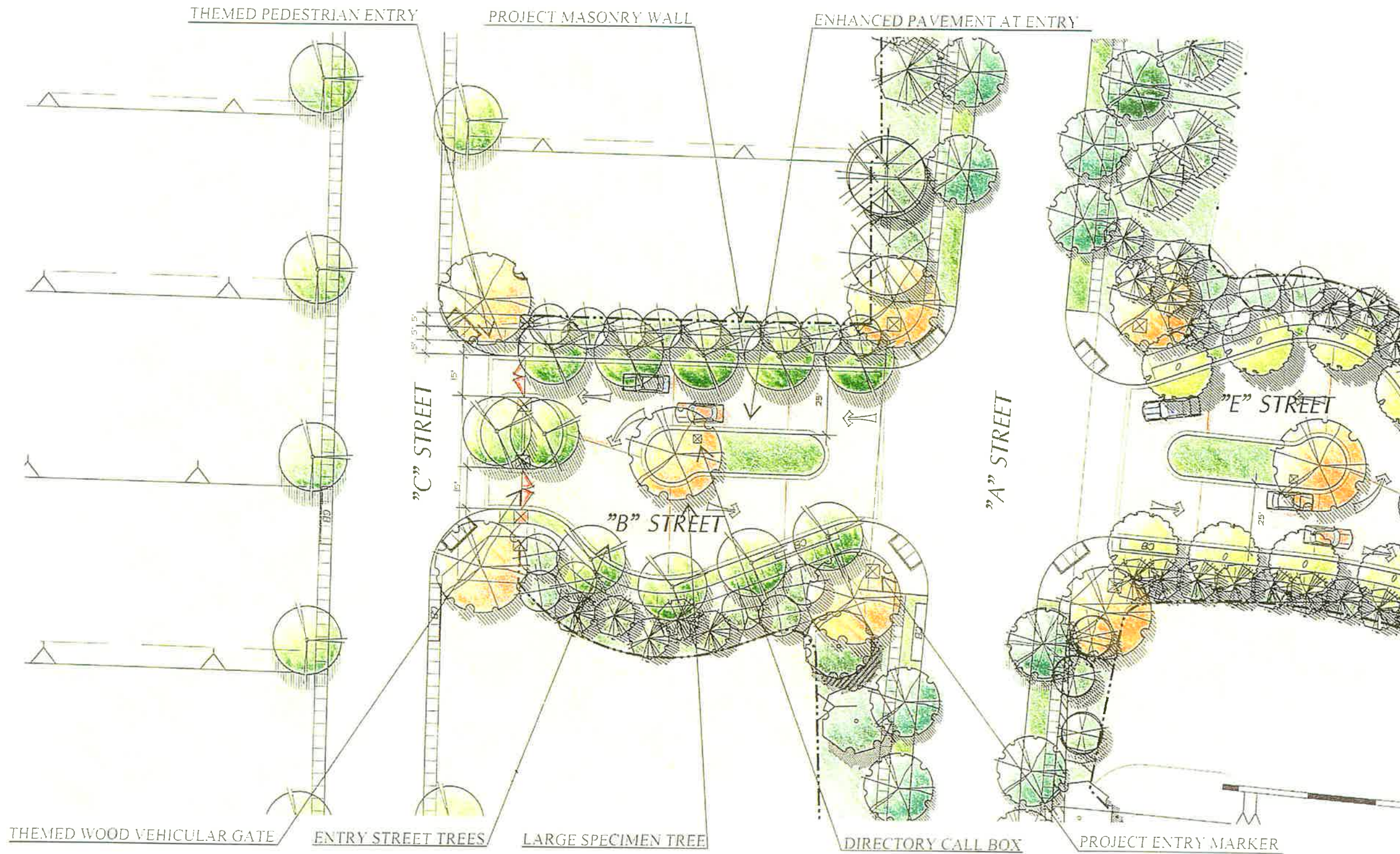
ENTRY 'D'  
Scale: 1"=40'  
EXHIBIT L-9

# LANDSCAPE DESIGN GUIDELINES



ENTRY 'D'  
Not to Scale  
EXHIBIT L-10

# LANDSCAPE DESIGN GUIDELINES



ENTRY 'E'  
Scale: 1"=40'  
EXHIBIT L-11

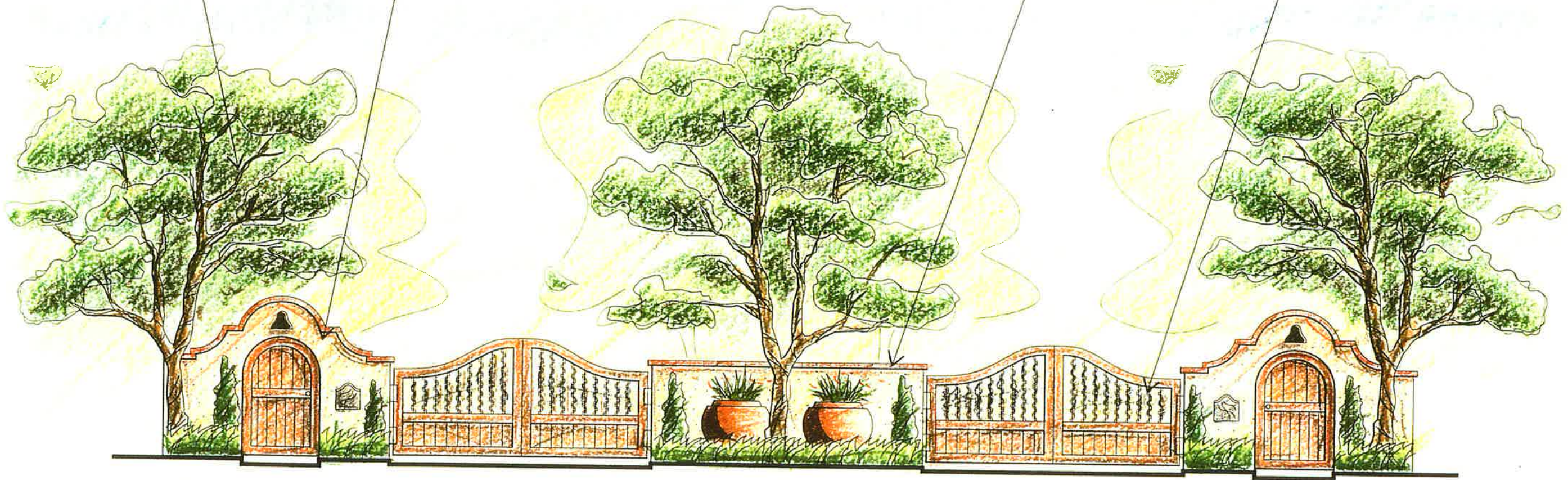
# LANDSCAPE DESIGN GUIDELINES

ENTRY STREET TREES  
(VARY PER ENTRY)

STUCCO PEDESTRIAN PORTAL WITH  
ADOBE BRICK CAP AND WOOD GATE

STUCCO ENTRY WALLS  
WITH ADOBE BRICK CAP

DECORATIVE WOOD & IRON GATES



ENTRY 'E'  
Not to Scale  
EXHIBIT L-12

# LANDSCAPE DESIGN GUIDELINES



ENTRY 'F'  
Scale: 1"=40'  
EXHIBIT L-13

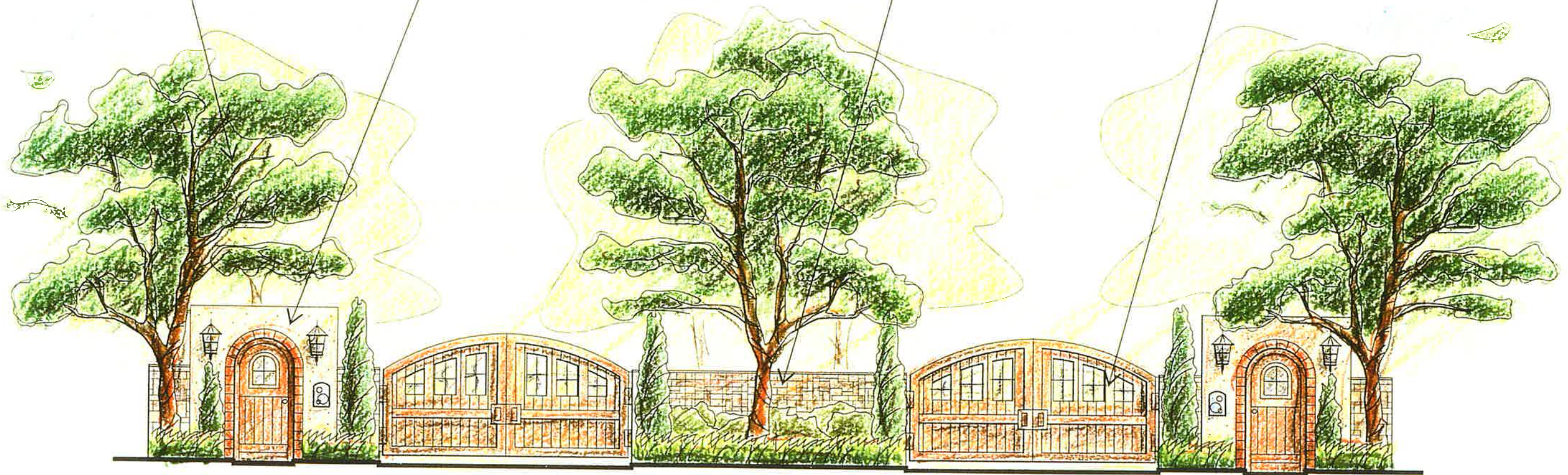
# LANDSCAPE DESIGN GUIDELINES

ENTRY STREET TREES  
(VARY PER ENTRY)

STUCCO PEDESTRIAN PORTAL WITH  
DECORATIVE TILE TRIM AND WOOD GATE

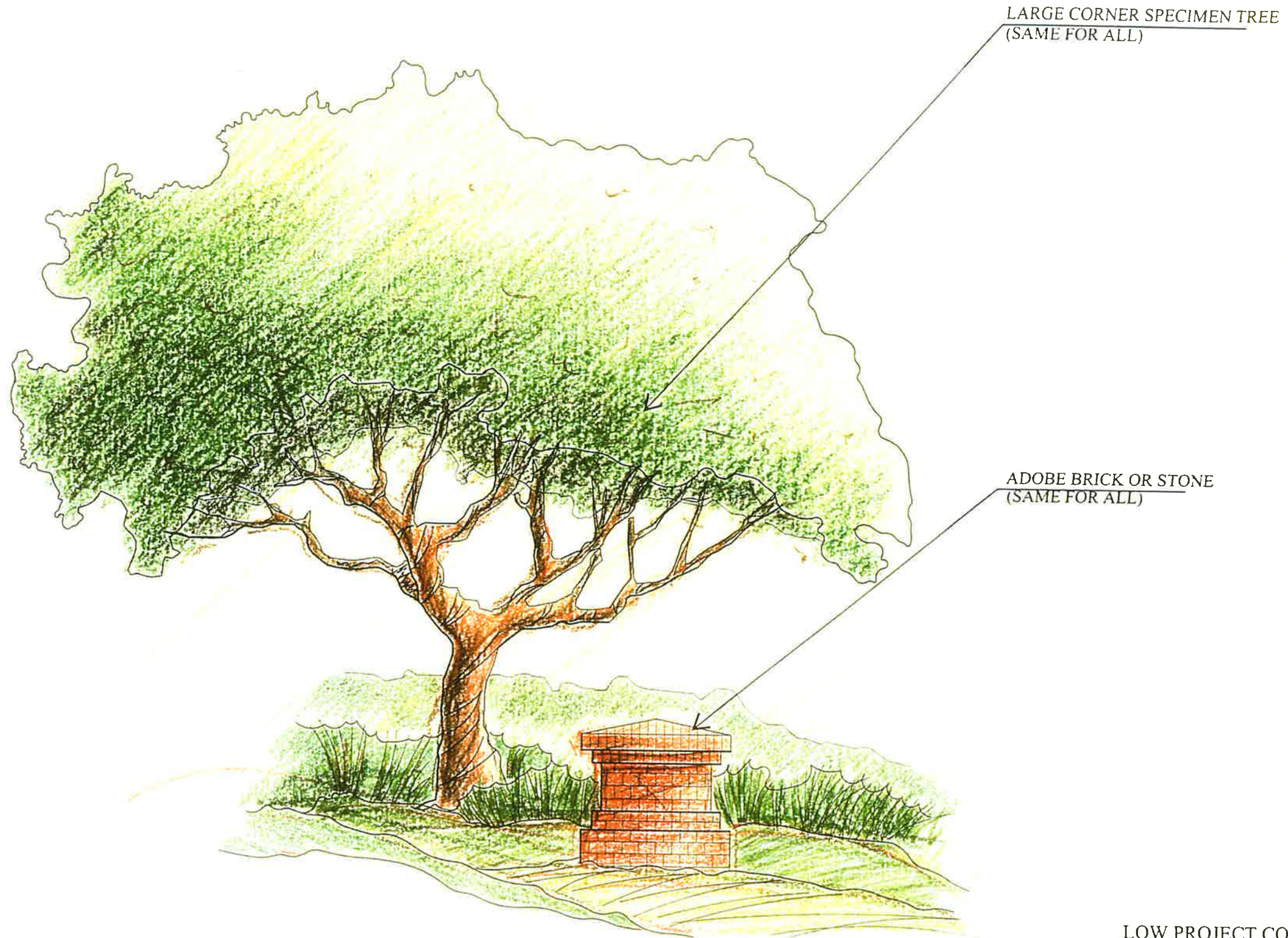
STONE ENTRY WALLS

DECORATIVE WOOD & IRON GATES



ENTRY 'F'  
Not to Scale  
EXHIBIT L-14

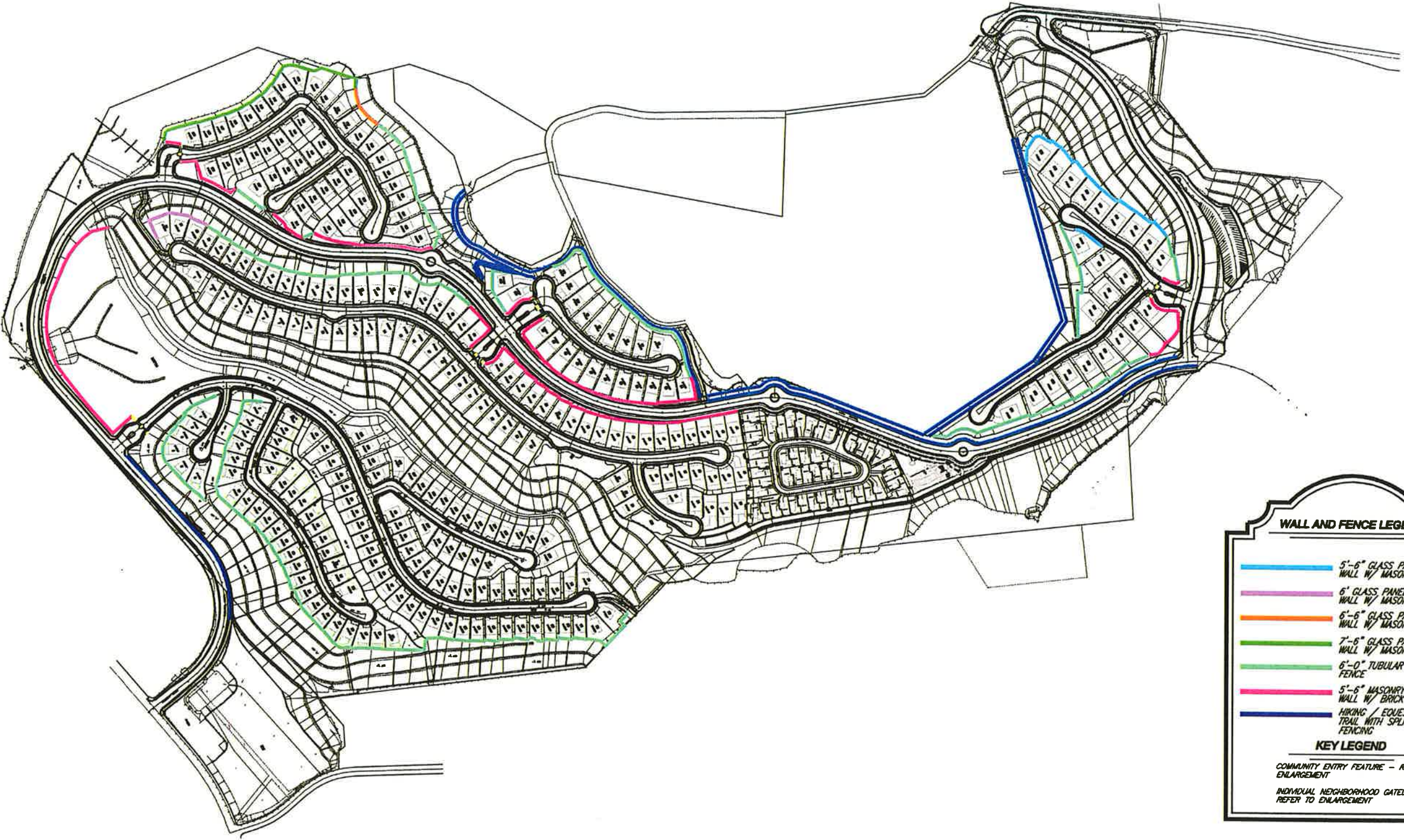
# LANDSCAPE DESIGN GUIDELINES










LARGE CORNER SPECIMEN TREE  
(SAME FOR ALL)

ADOBE BRICK OR STONE  
(SAME FOR ALL)



LOW PROJECT CORNER MARKER  
Not to Scale  
EXHIBIT L-15



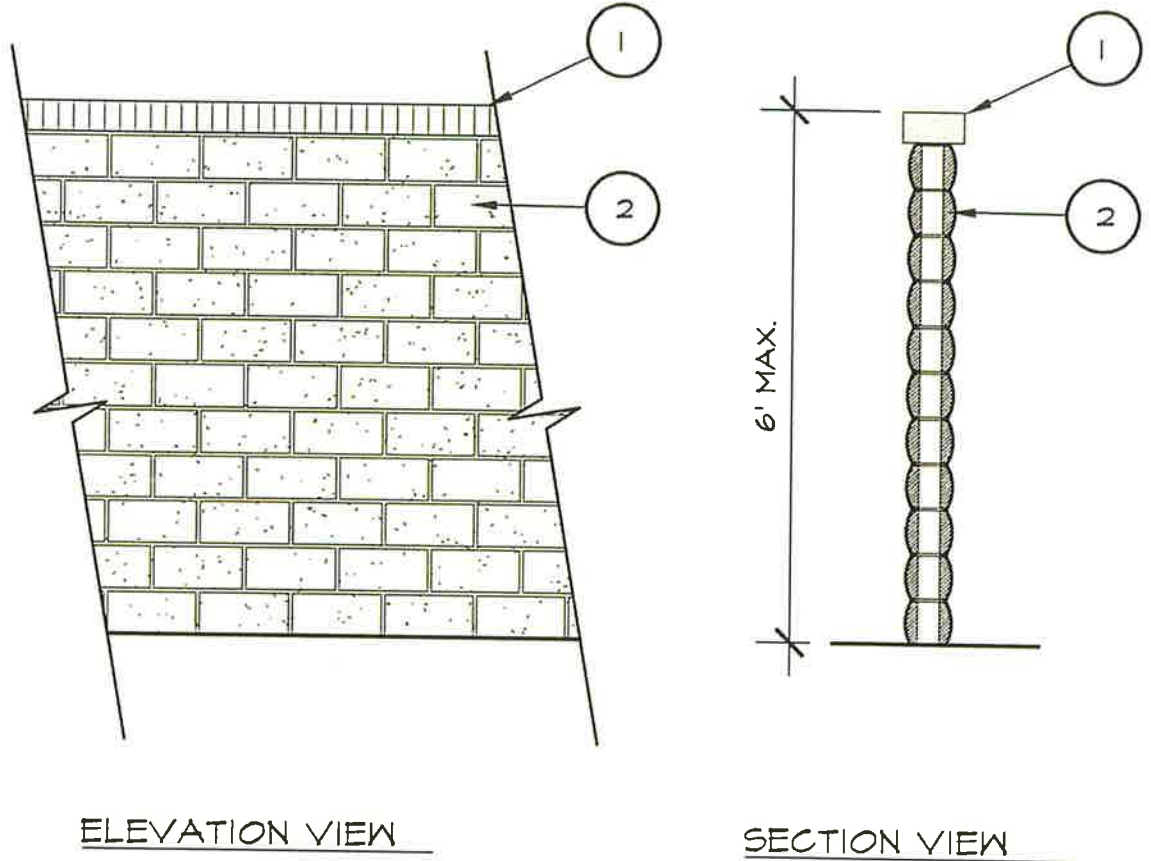
**WALL AND FENCE LEGEND**

-  5'-6" GLASS PANEL SOUND WALL W/ MASONRY BASE
-  6" GLASS PANEL SOUND WALL W/ MASONRY BASE
-  6'-6" GLASS PANEL SOUND WALL W/ MASONRY BASE
-  7'-6" GLASS PANEL SOUND WALL W/ MASONRY BASE
-  6'-0" TUBULAR STEEL FENCE
-  5'-6" MASONRY BLOCK WALL W/ BRICK CAP
-  HIKING / EQUESTRIAN TRAIL WITH SPLIT RAIL FENCING

**KEY LEGEND**

-  COMMUNITY ENTRY FEATURE - REFER TO ENLARGEMENT
-  INDIVIDUAL NEIGHBORHOOD GATED ENTRIES - REFER TO ENLARGEMENT

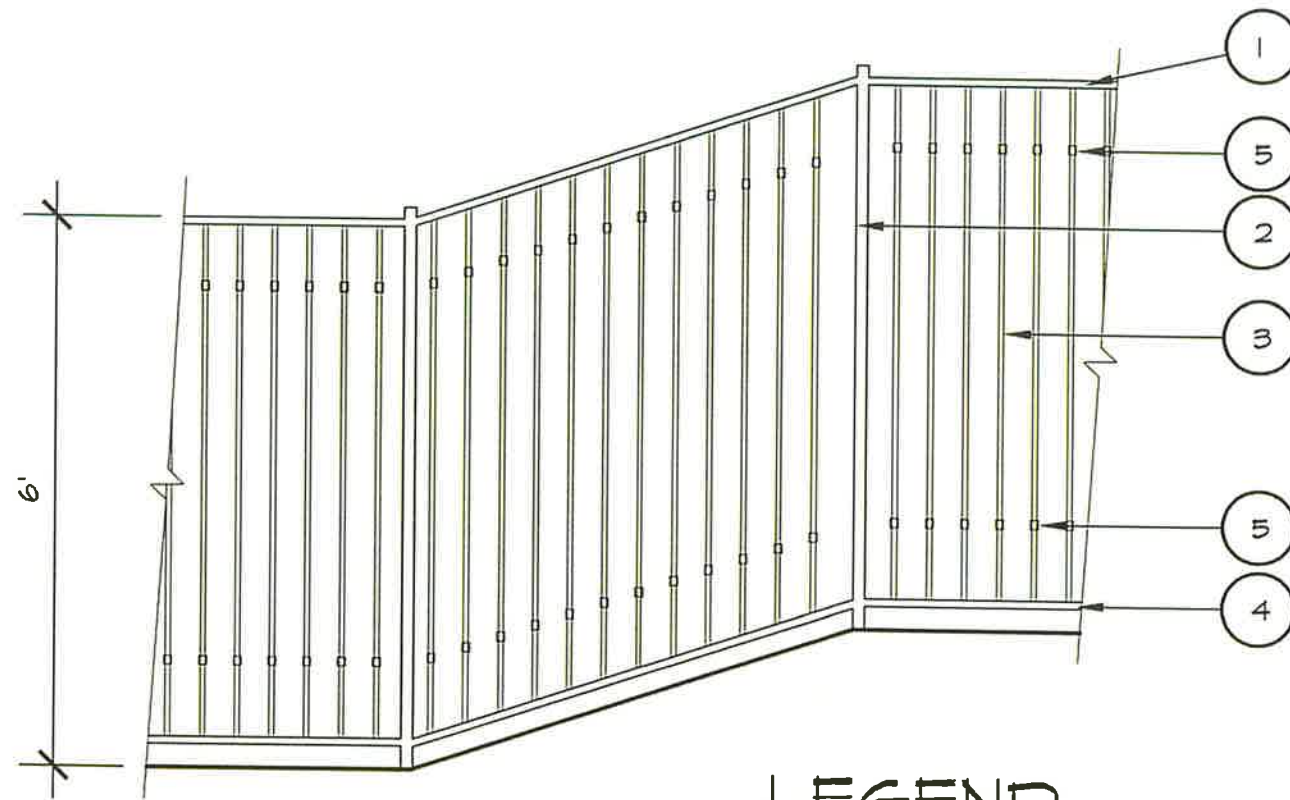
WALL AND FENCE PLAN  
Not to Scale  
EXHIBIT L-16



- LEGEND**
- 1. BRICK CAP
  - 2. 6X6X16 MORTAR WASH SLUMP BLOCK WALL.

SLUMP BLOCK WALL W/ BRICK CAP

WALL AND FENCE DETAILS  
Not to Scale  
EXHIBIT L-17A



### LEGEND

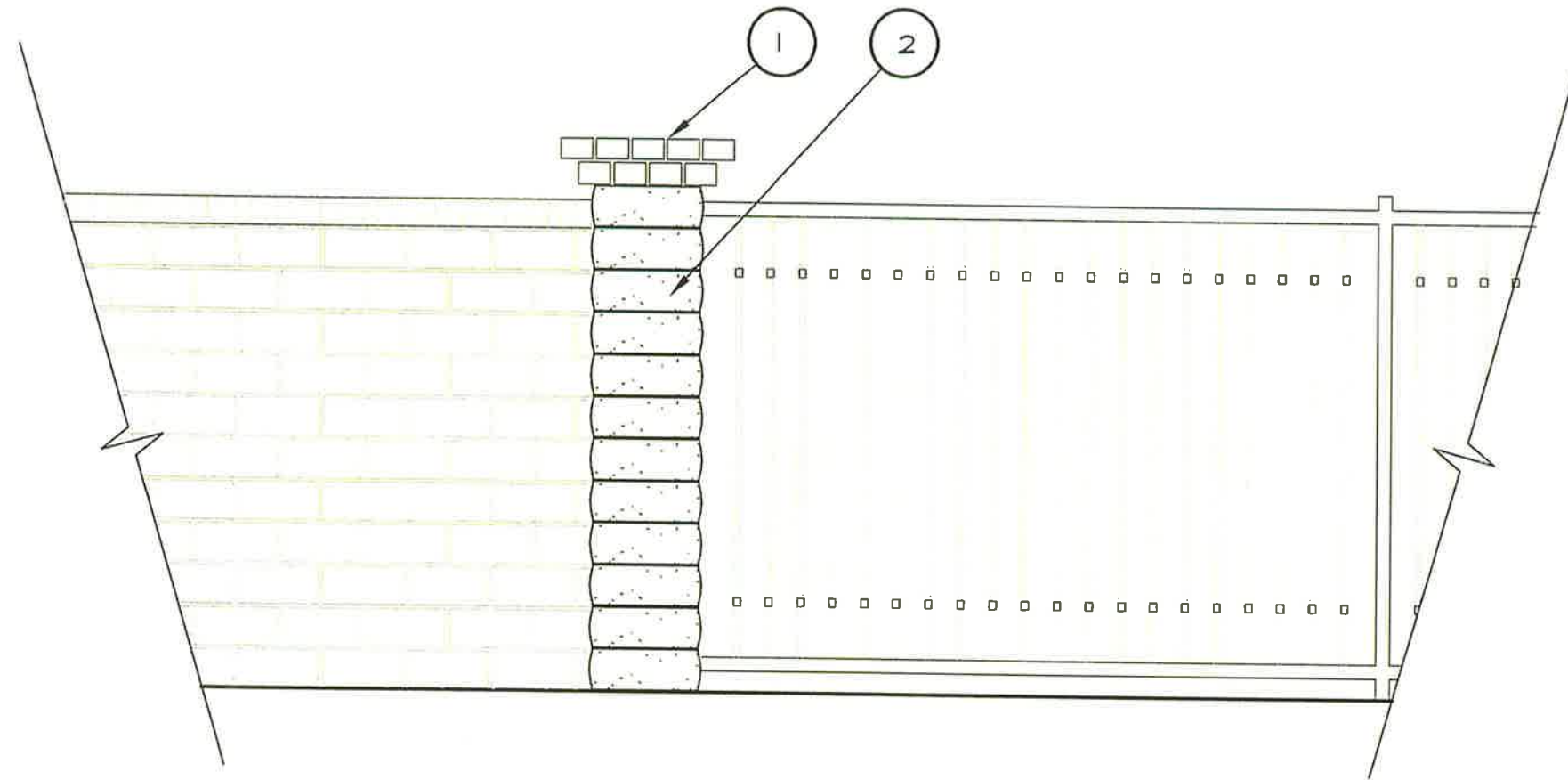
- 1. TUBULAR STEEL TOP RAIL
- 2. TUBULAR STEEL POST @ 8'-0" O.C.
- 3. PICKETS @ 4" O.C.
- 4. TUBULAR STEEL BOTTOM RAIL
- 5. DECORATIVE COLLARS

## TUBULAR STEEL FENCE

WALL AND FENCE DETAILS

Not to Scale

EXHIBIT L-17B



**LEGEND**

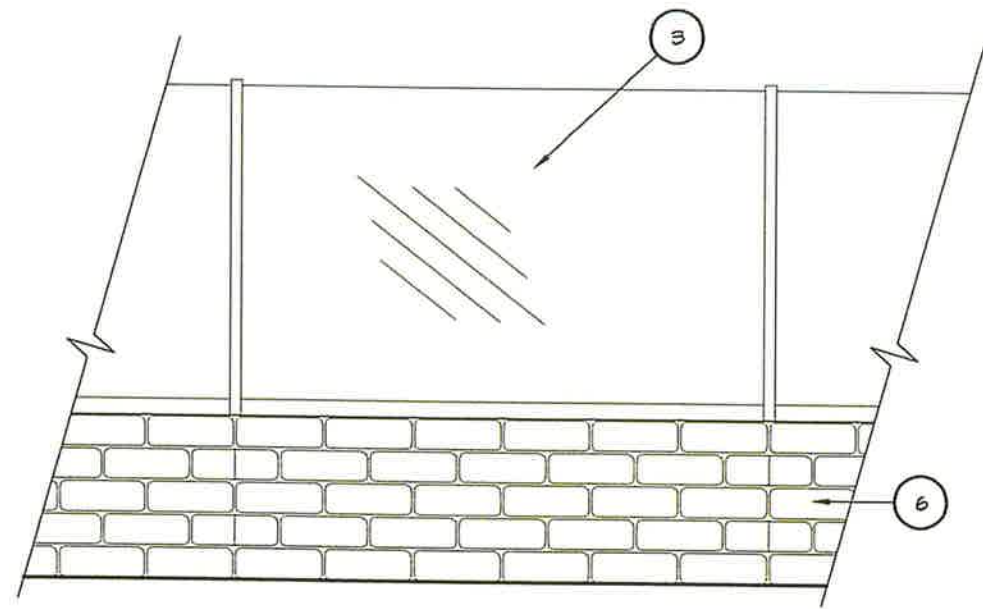
- 1. BRICK CAP
- 2. 16"X6"X16" SLUMP BLOCK RING W/  
MORTAR WASHED FINISH

**SLUMP BLOCK PILASTER W/ BRICK CAP**

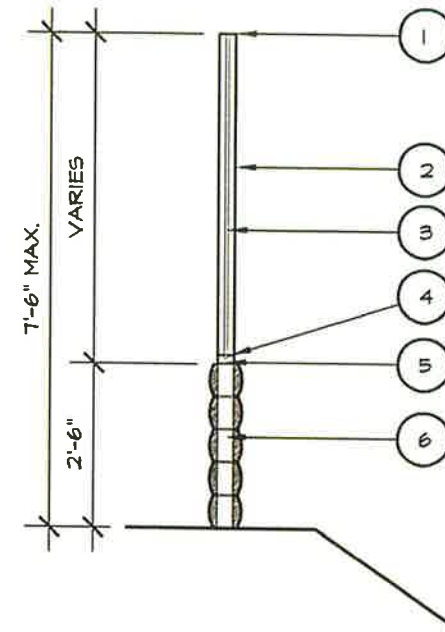
WALL AND FENCE DETAILS

Not to Scale

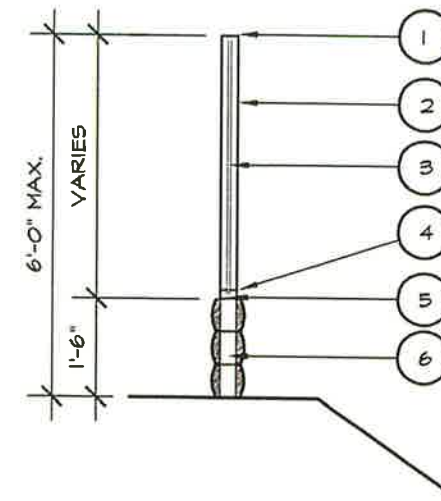
EXHIBIT L-17C



ELEVATION VIEW



SECTION VIEW  
SOUNDS WALL BETWEEN 6'-6" AND 7'-6" HIGH



SECTION VIEW  
SOUNDS WALL BETWEEN 5'-6" AND 6'-0" HIGH

**LEGEND**

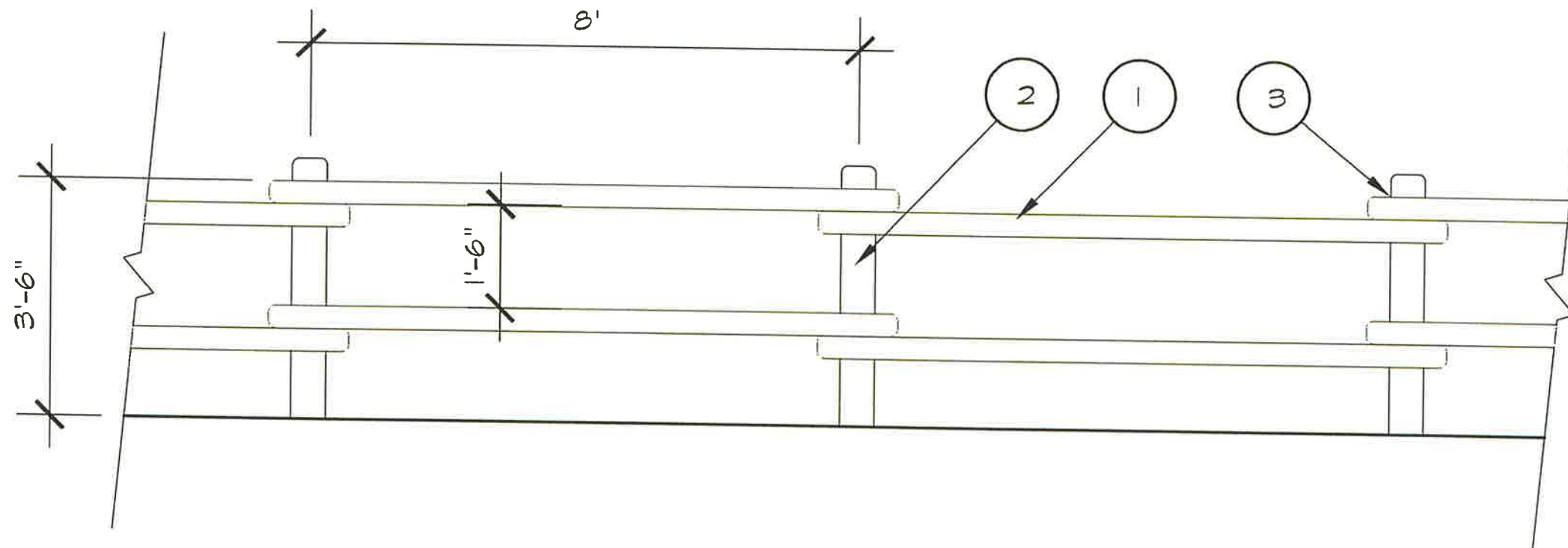
- 1. TOP CAP AT METAL POSTS
- 2. 4"X4" METAL POST
- 3. GLASS PANEL
- 4. 2"X4" METAL
- 5. MORTAR CAP TO DRAIN
- 6. 8"X6"X16" MORTAR WASHED SLUMP BLOCK

**GLASS PANEL SOUND WALL W/ MASONRY BASE**

EXHIBIT L-17D

LEGEND

- 1. 4" DIA. PRESSURE TREATED WOOD RAIL
- 2. 6" DIA. PRESSURE TREATED WOOD POST
- 3. POST NOTCHED TO ACCOMODATE RAILS

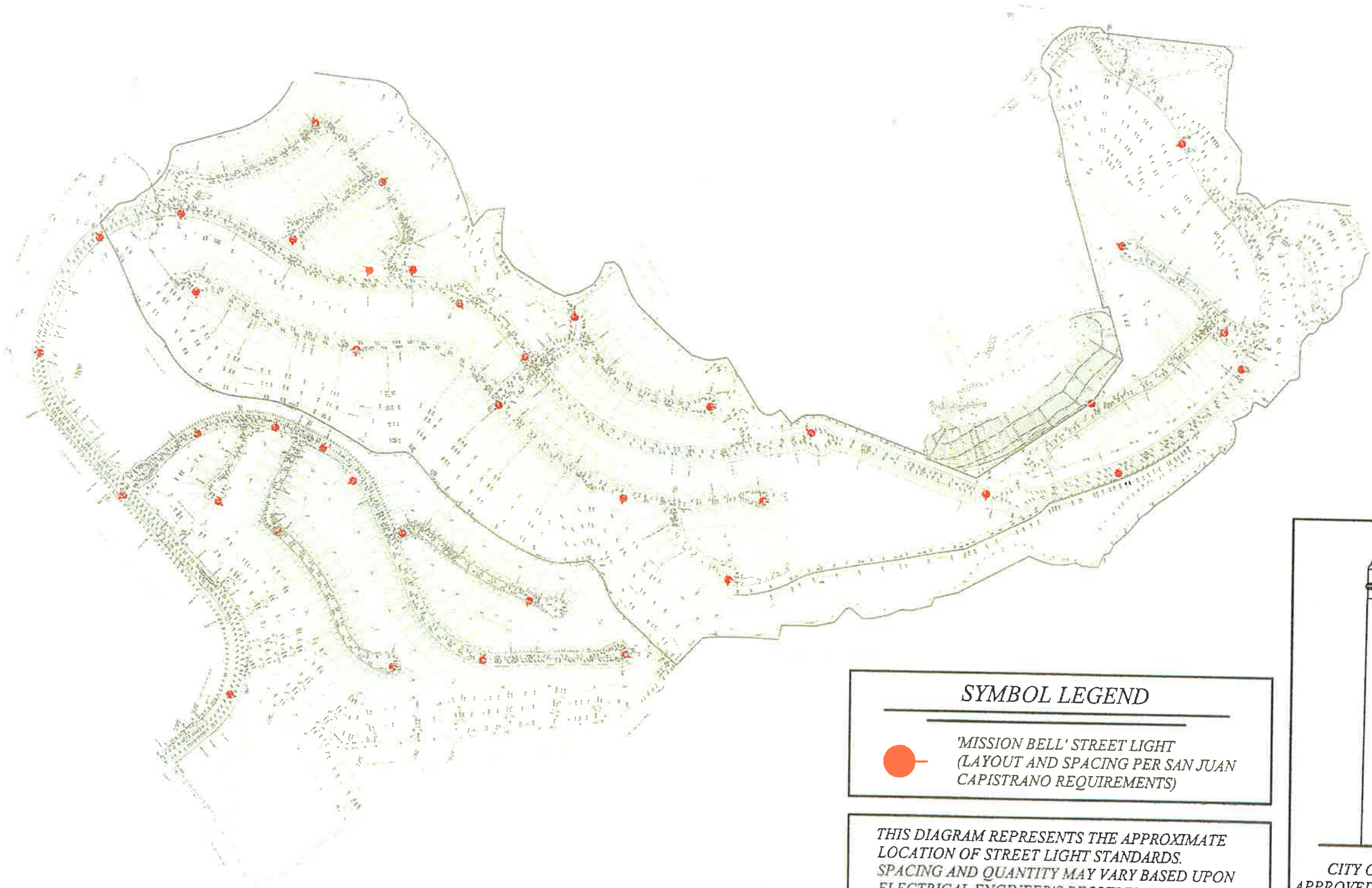


HIKING/ EQUESTRIAN TRAIL TWO RAIL FENCE

WALL AND FENCE DETAILS

Not to Scale

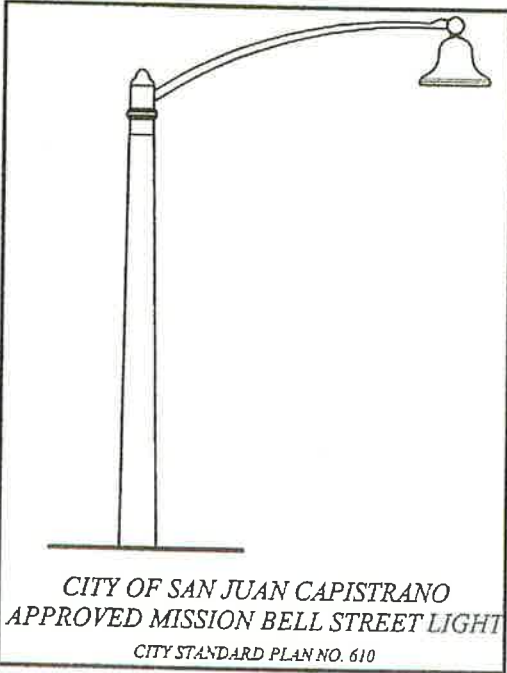
EXHIBIT L-17E



**SYMBOL LEGEND**

● 'MISSION BELL' STREET LIGHT  
(LAYOUT AND SPACING PER SAN JUAN CAPISTRANO REQUIREMENTS)

THIS DIAGRAM REPRESENTS THE APPROXIMATE LOCATION OF STREET LIGHT STANDARDS. SPACING AND QUANTITY MAY VARY BASED UPON ELECTRICAL ENGINEER'S REQUIREMENTS.





STREETLIGHT LOCATION EXHIBIT

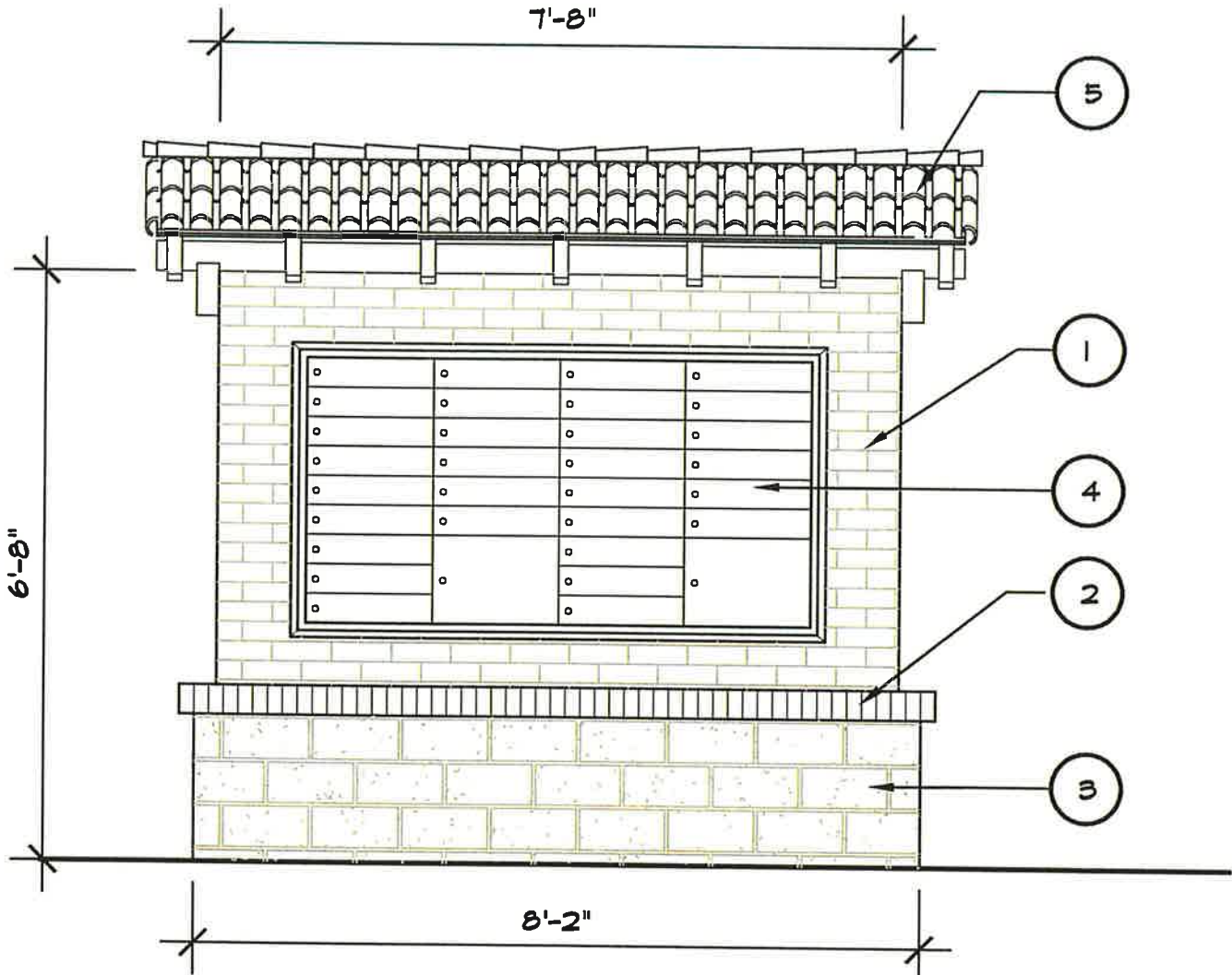
Not to Scale  
EXHIBIT L-18



**SYMBOL LEGEND**

-  ENCLOSED MAILBOX STRUCTURE - REFER TO EXHIBIT
-  INDICATES NUMBER OF MAILBOX UNITS WITHIN THE STRUCTURE

MAILBOX LOCATION EXHIBIT  
Not to Scale  
EXHIBIT L-19

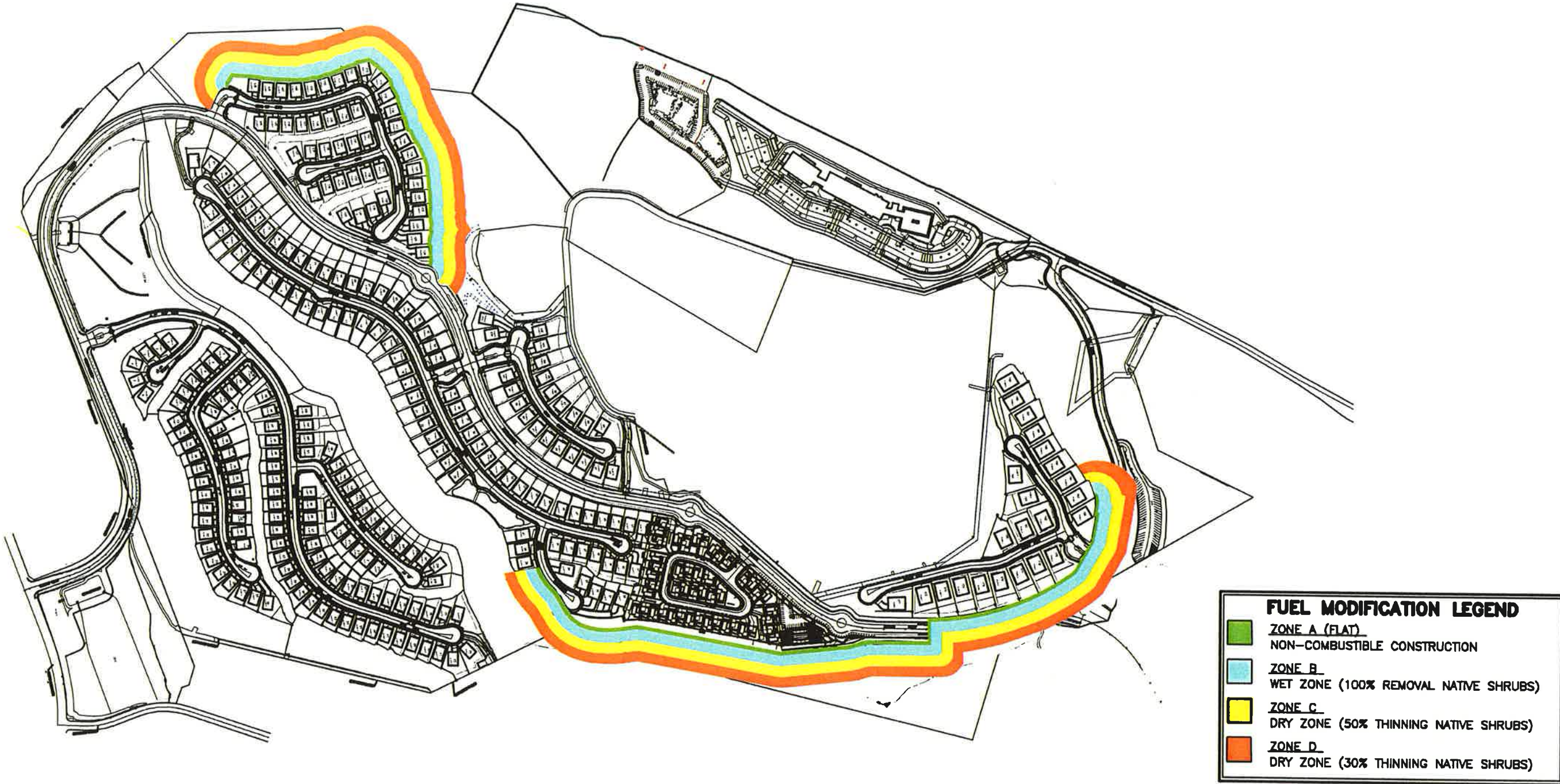


**LEGEND**

- 1. BRICK
- 2. BRICK SOLIDER COURSE BAND
- 3. SLUMP BLOCK W/ MORTAR WASHED FINISH
- 4. CLUSTER MAILBOX UNIT
- 5. SPANISH TILE ROOF OVER WOOD BEAMS

**MAILBOX ENCLOSURE**

MAILBOX ENCLOSURE  
Not to Scale  
EXHIBIT L - 20



FUEL MODIFICATION EXHIBIT  
Not to Scale  
EXHIBIT L - 21